



5746 S. WADSWORTH BLVD., SUITE #3100
LITTLETON, CO 80123

PROJECT INFORMATION

GENERAL NOTES

THE CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN WRITING PRIOR TO SUBMITTING HIS BID.

THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO THE SUBMISSION OF ANY BIDS, AND VERIFY THE ARCHITECT'S DIMENSIONS, DETAILS AND INFORMATION PERTAINING TO THE PROJECT. IF ANY DISCREPANCIES, CONFLICTING INFORMATION, ERRORS OR OMISSIONS ARE PRESENT, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND OWNER IMMEDIATELY IN WRITING. ANY DISCREPANCY, OR CONFLICT NOT BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER PRIOR TO THE FINAL BID SUBMISSION SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

THE CONTRACTOR SHALL NOT SCALE THE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL CARRY PUBLIC LIABILITY, PROPERTY, AND WORKMEN'S COMPENSATION INSURANCE. VALID CERTIFICATES OF ALL SHALL BE PROVIDED.

THE CONTRACTOR SHALL INCLUDE ALL WORK NECESSARY TO ASSURE THE PROJECTS COMPLIANCE WITH THE MOST STRINGENT REQUIREMENTS OF THE CURRENT LOCAL EDITION BUILDING CODE AND ALL OTHER REGULATION CODES.

THE CONTRACTOR SHALL OBTAIN ALL PERMITS, AND SECURE ALL CERTIFICATES OF INSPECTION AND OCCUPANCY THAT ARE REQUIRED BY THE GOVERNING JURISDICTION. THE OWNER SHALL RECEIVE A COPY OF THE PERMIT UPON ISSUANCE.

THE CONTRACTOR SHALL REFERENCE THE BUILDING SHELL DRAWINGS FOR ALL INFORMATION RELATIVE TO THE BUILDING SHELL AND FOR COORDINATION OF NEW WORK.

THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS/VENDORS SHALL FAMILIARIZE THEMSELVES WITH AND CONFORM TO ALL REQUIREMENTS SET FORTH BY THE BUILDING OWNER OR MUNICIPALITY RELATIVE TO THE HOURS OF WORK.

THE CONTRACTOR SHALL SUBMIT A DETAILED CONSTRUCTION SCHEDULE COORDINATION ALL SUBCONTRACTORS, SUPPLIERS AND VENDORS.

THE CONTRACTOR SHALL NOT ALLOW ON THE PROJECT ANY MATERIALS CONTAINING ASBESTOS, PETROLEUM OR PCB.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND DISTRIBUTING ALL CURRENT DRAWINGS TO THE SUBCONTRACTORS/VENDORS AS WELL AS SUPERVISING AND COORDINATING THE WORK OF ALL TRADES IN ACCORDANCE WITH THE SPECIFICATIONS AND MAKING ADJUSTMENTS IN LAYOUT AS REQUIRED. THE ARCHITECT SHALL BE NOTIFIED PRIOR TO THE EXECUTION OF THEIR REVISIONS TO AVOID CONFLICT BETWEEN TRADES FOR PROPER EXECUTION OF THE WORK.

THE CONTRACTOR SHALL INSTALL ANY APPARATUS, APPLIANCE, MATERIAL OR WORK NOT SHOWN ON THE DRAWINGS BUT MENTIONED IN THE SPECIFICATIONS, OR VICE VERSA, OR ANY INCIDENTAL ACCESSORIES NECESSARY FOR COMPLETION OF THE WORK FOR OPERATION WITHOUT ADDITIONAL EXPENSE TO OWNER.

THE CONTRACTOR SHALL COORDINATE ALL OWNER/TENANT SUPPLIED ITEMS AND INCORPORATE THE INSTALLATION INTO THE CONSTRUCTION SCHEDULE.

THE CONTRACTOR SHALL PROVIDE ANY TEMPORARY UTILITIES INCLUDING, ELECTRICAL, WATER, AND TELEPHONE REQUIRED FOR THE COMPLETION OF THE PROJECT OWNER.

THE CONTRACTOR SHALL HAVE A DIGITAL CAMERA ON SITE TO DOCUMENT ANY ISSUES THAT MAY NEED TO BE CLARIFIED. THESE PICTURES SHALL BE EMAILED TO THE ARCHITECT ALONG WITH AN RFI FOR CLARIFICATION.

THE CONTRACTOR SHALL PROVIDE AT ALL TIMES PROTECTION FROM THE WEATHER AND EXCESSIVE DUST THAT MAY IN ANY WAY DAMAGE THE WORK, MATERIAL, FIXTURES, AND EQUIPMENT, OR PRESENT DANGER TO PERSONNEL. ANY WORK UNDER CONTRACT BY THE GENERAL CONTRACTOR DAMAGED BY A FAILURE TO PROVIDE ADEQUATE PROTECTION SHALL BE REMOVED AND REPLACED WITH NEW WORK AT THE SOLE EXPENSE OF THE CONTRACTOR.

THE CONTRACTOR SHALL MAINTAIN THE JOB SITE FREE FROM RUBBISH AND DEBRIS. DISPOSAL OF ALL CONSTRUCTION DEBRIS SHALL CONFORM TO BUILDING REGULATIONS.

THE CONTRACTOR SHALL RUN FIRE RATED WALLS AND PARTITIONS TO UNDERSIDE OF RATED ROOF/CEILING ASSEMBLY ABOVE: TAPE AND SEAL JOINTS. PROVIDE FIRE DAMPERS AT DUCT PENETRATIONS AS REQUIRED BY CODE. TAPE AND SEAL OTHER PENETRATIONS TO MAINTAIN INTEGRITY OF FIRE-RATED PARTITION USING ONLY UL APPROVED MATERIAL.

THE CONTRACTOR SHALL FINISH GYPSUM WALLBOARD ABUTTING OTHER MATERIAL WITH METAL EDGE STRIPS. CONCEAL PIPING, DUCTWORK, AND CONDUIT.

THE CONTRACTOR SHALL BACK ALL ELECTRICAL CABINETS, FIRE EXTINGUISHERS, CABINETS AND OTHER RECESSED EQUIPMENT LOCATED IN FIRE-RATED WALLS WITH 5/8" TYPE 'X' GYPSUM BOARD AS REQUIRED TO MAINTAIN THE RATING.

THE CONTRACTOR SHALL PROVIDE BRACING OR BLOCKING AS REQUIRED TO SUPPORT WALL MOUNTED EQUIPMENT: CABINETS, GRILLES, DOORS, WINDOWS, ETC.. WOOD BLOCKING SHALL BE FIRE RETARDANT TREATED. METAL STUDS MAY BE USED IN LIEU OF WOOD BLOCKING.

THE CONTRACTOR SHALL NOT CUT ANY STEEL, WOOD, OR OTHER MAIN STRUCTURAL MEMBERS WITHOUT WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER.

ANY ROOM, WALL, FLOOR, OR CEILING FINISH NOT SCHEDULED SHALL BE ASSUMED TO BE IDENTICAL TO THE CLOSEST ROOM OF SIMILAR USE AND TYPE FOR PURPOSES OF BIDDING AND CONSTRUCTION. NOTIFY THE ARCHITECT OF ANY OBSERVED APPARENT DISCREPANCIES IN WRITING PRIOR TO COMMENCING WITH THE WORK.

ANY DETAIL NOT SPECIFICALLY REFERENCED SHALL BE ASSUMED TO BE SIMILAR TO THAT SHOWN IN THE CLOSEST POSITION WHERE A SIMILAR CONDITIONS OCCURS FOR THE PURPOSES OF BIDDING AND CONSTRUCTION. NOTIFY THE ARCHITECT IN WRITING OF ANY OBSERVED APPARENT DISCREPANCIES PRIOR TO COMMENCING WITH THE WORK.

WHERE TWO OR MORE DETAILS, MATERIALS, OR CONDITIONS OCCUR IN APPARENT CONFLICT, THE CONTRACTOR SHALL INCLUDE THE MOST COSTLY SOLUTION IN HIS BID AND NOTIFY THE ARCHITECT OF ANY APPARENT DISCREPANCIES PRIOR TO START OF CONSTRUCTION.

THE CONTRACTOR SHALL PROVIDE UPON COMPLETION OF THE WORK A SET OF "AS-BUILT" NEATLY MARKED UP PLANS, THE ELECTRICAL CONTRACTORS "AS-BUILT" DRAWINGS SHALL BE INCLUDED. THESE DRAWINGS SHALL BE TRANSMITTED TO THE OWNER.

PROJECT CONTACTS

PROJECT LOCATION

5746 S WADSWORTH BLVD, SUITE 3100
LITTLETON, CO 80123

OWNER - FRANCHISE PARTNER

NEW LOOK 21 LLC
BHUWAN GAUTAM
22536 E RADCLIFF DRIVE
AURORA, CO 80015
BGAUTAM@DEKALASH.COM

ACHITECTURE

BARR ARCHITECTURE, INC

PRINCIPAL: RON BARR, A.I.A.
CONTACT: KRISTY BALLOG
5011 SOUTH STATE ROAD 7, SUITE 107
DAVIE, FL 33314
OFFICE: 954-418-2277
KRISTY@BARRARCHITECTURE.COM

BUILDING DEPARTMENT

UNINCORPORATED JEFFERSON COUNTY
100 JEFFERSON COUNTY PKWY
GOLDEN, CO 80419
P: (303) 271-8260

ABBREVIATIONS

AB	ANCHOR BOLT	GL	GLASS	POL	POLISHED
A/C	AIR CONDITIONING	GR	GRADE	PR	PREFABRICATED
AF	ABOVE FINISH FLOOR	GYP	GYPSUM	PROJ	PROJECT
ALUM	ALUMINUM	HB	HOSE BIBB	PSF	POUNDS PER SQ. FOOT
APPROX	APPROXIMATE	HCP	HANDICAP	PSI	POUNDS PER SQ. INCH
ARCH	ARCHITECTURAL	HDW	HARDWARE	PRTR	PRESSURE TREATED
BD	BOARD	HGT	HEIGHT	PMT	PAINTED
BLDG	BUILDING	HM	HOLLOW METAL	PVMT	PAVEMENT
BLK	BLOCK	HR	HOUR	QTY	QUANTITY
BOTT	BOTTOM	HVAC	HEATING/VENTILATING/	REF	REFRIGERATOR
BRG	BEARING	HW	AIR CONDITIONING	REQD	REQUIRED
BTWN	BETWEEN	IN	HOT WATER	REINF	REINFORCING
CAB	CABINET	INCH		RET	RETURN
CLG	CEILING	INCAND	INCANDESCENT	REV	REVERSE, REVISION
CEM	CEMENT	INCL	INCLUDE	RGD	RIGID
CL	CLOSET	INFO	INFORMATION	RM	ROOM
CLR	CLEAR	INSUL	INSULATE-INSULATION	RO	ROUGH OPENING
COL	COLUMN	INT	INTERIOR	SCHED	SCHEDULE
CONC	CONCRETE	KIT	KITCHEN	SD	SOAP DISPENSER
CONSTR	CONSTRUCTION	LAM	LAMINATED	SEP	SEPARATE
CONT	CONTINUOUS	LAV	LAVATORY	SECT	SECTION
CONTR	CONTRACTOR	LB	POUND	SHLF	SHELF
CPT	CARPET	LIN	LINEAR	SHT	SHEET
CT	CERAMIC TILE	LL	LIVE LOAD	SIM	SIMILAR
CTR	CENTER	LT	LIGHT	SPC	SPECIFICATION
DEG	* DEGREE	LVR	LOUVER	SPKR	SPEAKER
DEPT	DEPARTMENT	MATL	MATERIAL	SQ	SQUARE
DET	DETAIL	MAX	MAXIMUM	SF	SQUARE FEET
DF	DRINKING FOUNTAIN	MECH	MECHANICAL	STD	STANDARD
DIA	DIAMETER	MEMB	MEMBRANE	STL	STEEL
DIM	DIMENSION	MTL	METAL	STOR	STORAGE
DN	DOWN	MFC	METAL FURRING CHAN	SUB	SUBSTITUTE
DR	DOOR	MFR	MANUFACTURER	SURF	SURFACE
DWG	DRAWING	MIN	MINIMUM	SUSP	SUSPEND-SUSPENDED
EA	EACH	MIR	MIRROR	SYS	SYSTEM
EL	ELEVATION	MISC	MISCELLANEOUS	T & G	TONGUE & GROOVE
ELEC	ELECTRICAL	MO	MASONRY OPENING	TEL	TELEPHONE
EQ	EQUAL	MR	MOISTURE RESISTANT	THK	THICK-THICKNESS
EQUIP	EQUIPMENT	NAT	NATURAL	TPH	TOILET PAPER HOLDER
EQUIV	EQUIVALENT	NIC	NOT IN CONTRACT	TRANS	TRANSFORMER
EW	EACH WAY	#	NUMBER	TYP	TYPICAL
EXH	EXHAUST	NOM	NOMINAL	UGND	UNDERGROUND
EXIST	EXISTING	NTS	NOT TO SCALE	UL	UNDERWRITERS LAB.
EXT	EXTERIOR-EXTERNAL	OA	OVERALL, OUTSIDE AIR	UNO	UNLESS NOTED OTHERWISE
FD	FLOOR DRAIN	OC	ON CENTER	VERT	VERTICAL
FIN	FINISH	OPB	OPENING	WI	WITH
FIX	FIXTURE	OPP	OPPOSITE	WC	WATER CLOSET
FLR	FLOOR	ORIG	ORIGINAL	WD	WOOD
FLUOR	FLUORESCENT	PART	PARTITION	WH	WATER HEATER
FTG	FOOTING	PL	PLATE	WM	WIRE MESH
FURR	FURRING	PLAS	PLASTER	W/O	WITHOUT
GA	GAGE, GAUGE	PLYWD	PLYWOOD	WP	WATERPROOF
GALV	GALVANIZED	PNL	PANEL	WS	WEATHER STRIPPING
		PNT	PAINT	WWF	WELDED WIRE FABRIC

SYMBOLS

	SECTION		KEY NOTE
	SECTION NUMBER		TOILET FIXTURE OR ACCESSORY
	SHEET NUMBER		EQPT. NOTATION
	ELEVATION		FINISH NOTATION
	ELEVATION NUMBER		PARTITION TYPE
	SHEET NUMBER		REVISION NUMBER
	DETAIL		ROOM IDENTIFICATION
	DETAIL NUMBER		DOOR NUMBER
	SHEET NUMBER		WINDOW TYPE
	FLOOR COVERING DETAIL		EXISTING DOOR, UNO
	DETAIL NUMBER		NEW DOOR, UNO
	SHEET NUMBER		ELEVATION MARK
	ROOM		
	ROOM IDENTIFICATION		
	ROOM NUMBER		
	DOOR		
	WINDOW		
	ELEVATION MARK		

PROJECT DATA

SCOPE OF WORK:

NEW TENANT IMPROVEMENT
WITHIN AN EXISTING
COMMERCIAL BUILDING SPACE.
WORK TO INCLUDE BUT NOT
LIMITED TO:

- NEW INTERIOR WALLS & DOORS
- NEW FINISHES
- NEW MILLWORK
- ELECTRICAL IMPROVEMENTS
- PLUMBING IMPROVEMENTS
- MECHANICAL ADJUSTMENTS

MUNICIPALITY:

UNINCORPORATED JEFFERSON
COUNTY

BUILDING HEIGHT:

SINGLE STORY

AREA OF WORK:

1,288 SF

LEVEL OF ALTERATION:

ALT-2 APPLICATION FOR INTERIOR
RENOVATION

TYPE OF CONSTRUCTION:

TYPE VB

FIRE SPRINKLER SYSTEM:

YES (DEFERRED SUBMITTAL)

FIRE ALARM SYSTEM:

YES (DEFERRED SUBMITTAL)

OCCUPANCY CLASSIFICATION:

BUSINESS (B)

CODE CALCULATIONS

OCCUPANT LOAD CALCULATIONS:

PER TABLE 1004.5 (2018) IBC
OCCUPANCY CLASSIFICATION: BUSINESS (B)
TOTAL BUSINESS AREA / 100 GROSS

TOTAL BUSINESS AREA 1288 SF / 150 = 9 OCCUPANTS
ACTUAL OCCUPANTS (2 PER STATION + 1 IN OFFICE) = 13 OCCUPANTS

PLUMBING FIXTURES CALCULATIONS:

PER 2018 INTERNATIONAL PLUMBING CODE TABLE 403.1

WATER CLOSETS: (PER 2018 IPC 403.2 EXCEPTION 2: SEPARATE
FACILITIES SHALL NOT BE REQUIRED IN STRUCTURES OR TENANT
SPACES WITH A TOTAL OCCUPANT LOAD, INCLUDING BOTH
EMPLOYEES AND CUSTOMERS, OF 15 OR FEWER.)

ALL GENDER RESTROOM:

13 OCCUPANTS IS <15 = 1 REQUIRED / 1 PROVIDED
(EXISTING)

LAVATORY: 1 REQUIRED / 1 PROVIDED (EXISTING)

DRINKING FOUNTAIN: (PER 2018 IPC 410.1: DRINKING FOUNTAINS
SHALL NOT BE REQUIRED FOR AN OCCUPANT LOAD OF 15 OR
FEWER.)

13 OCCUPANTS IS <15 = 0 REQUIRED / 0 PROVIDED

SERVICE SINK: (PER IPC TABLE 403.1 EXCEPTION F: FOR BUSINESS
AND MERCANTILE OCCUPANCIES WITH AN OCCUPANT LOAD OF 15 OR
FEWER, A SERVICE SINKS SHALL NOT BE REQUIRED)

13 OCCUPANTS IS <15 = 0 1 REQUIRED / 1 PROVIDED
(EXISTING)

EXIT REQUIREMENTS: (1) EXITS REQUIRED; (1) PROVIDED

SPRINKLERED

APPLICABLE CODES

THIS PROJECT SHALL ADHERE TO THE FOLLOWING CODES:

2018	INTERNATIONAL BUILDING CODE W/JEFFERSON COUNTY AMENDMENTS
2020	NATIONAL ELECTRICAL CODE
2018	INTERNATIONAL MECHANICAL CODE W/JEFFERSON COUNTY AMENDMENTS
2018	INTERNATIONAL PLUMBING CODE W/JEFFERSON COUNTY AMENDMENTS
2018	INTERNATIONAL FUEL GAS CODE W/JEFFERSON COUNTY AMENDMENTS
2018	PROPERTY MAINTENANCE CODE W/JEFFERSON COUNTY AMENDMENTS
2018	INTERNATIONAL ENERGY CONSERVATION CODE W/JEFFERSON COUNTY AMENDMENTS
20018	INTERNATIONAL FIRE CODE

DEFERRED SUBMITTALS

- A. FIRE SPRINKLER SYSTEM
B. FIRE ALARM SYSTEM
C. EXTERIOR SIGNAGE

DRAWING INDEX

ARCHITECTURAL

G-001 COVER SHEET
G-002 ADA REQUIREMENTS
D-101 DEMOLITION PLAN
A-101 FLOOR PLAN AND REFLECTED CEILING PLAN
A-111 FINISH PLAN AND FURNITURE PLAN
A-501 DETAILS
A-502 DETAILS & ELEVATIONS
A-601 DOOR SCHEDULE & SPECIFICATIONS

MECHANICAL

M100 MECHANICAL PLAN

PLUMBING

P100 PLUMBING PLANS

ELECTRICAL

E100 POWER PLAN AND LIGHTING PLAN
E200 ELECTRICAL SCHEDULES AND ONE-LINE DIAGRAM

JEFFERSON
COUNTY COLORADO

Please read plan correction notice

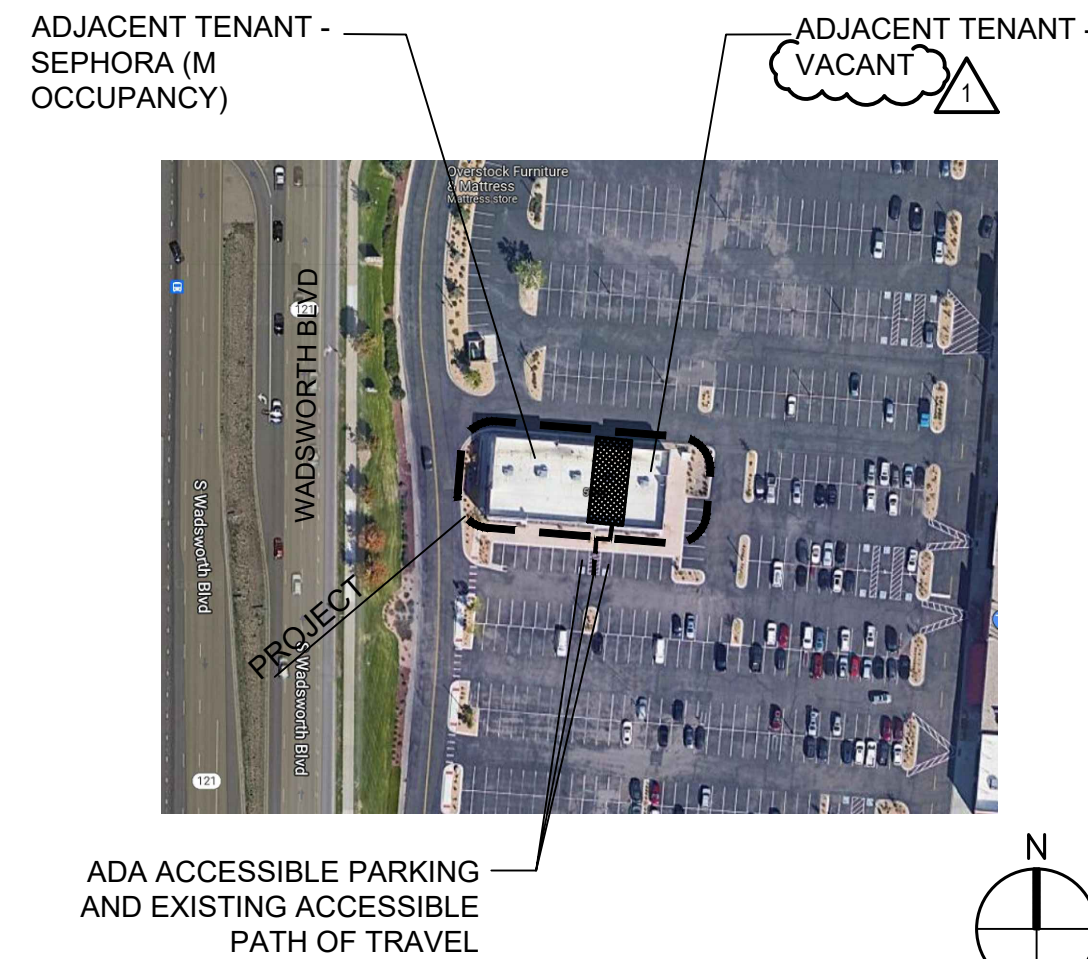
JEFFERSON
COUNTY COLORADO

SITE PLAN & CONSTRUCTION PLANS HAVE
BEEN REVIEWED FOR ZONING COMPLIANCE

By Renae Kudym at 7:30 am, Dec 05, 2022

Prior to commencing construction, the applicant should consult
with any applicable Fire District and Homeowners Association to
determine if any other restrictions affect their property.

LOCATION MAP



Proj. Mgr.
KB
Job. Capt.
RB
Drawn by
KB
Rev'd by
RB

Digitally signed by
Ronald Barr
Date: 2023.01.24
09:04:00 -05'00'



THIS DOCUMENT IS PROPERTY OF RON BARR ARCHITECT
AND IS TO BE USED ONLY FOR THE PROJECT AND FOR THE
SPECIFIC PROJECT WITHOUT THE CONSENT OF RON BARR
ARCHITECT.
THIS DOCUMENT WAS PREPARED BY RON BARR, ARCHITECT
IN ACCORDANCE WITH THE GENERAL CONDITIONS OF
THE CONTRACT FOR THE PROJECT. THE ARCHITECT DOES
NOT EITHER IN WHOLE OR IN PART CONSTITUTE ANY
DESIGN OR CONSTRUCTION DOCUMENT. THE CONTRACTOR WITH
TECHNIQUES BY THIS DOCUMENT, DIRECTOR OR
INTEND TO EXPRESS ANY OPINION, DIRECTOR OR
INSTRUCTION OF ANY KIND AND WHATSOEVER TO THE MANNER
ACCOMPLISHED.

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Revisions

1	BUILDING COMMENTS 01.23.23

dekalash

JEFFERSON
COUNTY COLORADO
THIS DRAWING HAS BEEN
REVIEWED FOR CODE COMPLIANCE
WITH THE ZONING DISTRICT AND HOMEOWNERS
ASSOCIATION. 01/31/2023 8:40:15

5746 S WADSWORTH BLVD., SUITE #3100
LITTLETON, CO 80123

BARR ARCHITECTURE, INC.
The Design-Build Team
architects • general contractors

AA# 26003152
5011 South State Road 7, Suite #107, Davie, Florida 33314
p. 954 418 BARR f. 954 212 2962
architecture • construction management • planning • interiors

Sheet Title:

COVER SHEET

Scale:

NOTED

Date:

10.28.22

Project No.

22-2408

Sheet No.

G-001

GENERAL NOTES

THE INTENTION OF THIS SHEET IS TO SHOW THE REQUIREMENTS OF THE ICC A117.1-2009 AMERICAN NATIONAL STANDARD. BASED ON PROJECT LOCATION, STATE OR LOCAL ACCESSIBILITY CODES MAY ALSO APPLY TO THE PROJECT. IF THERE IS A DISCREPANCY BETWEEN THE FEDERAL, STATE, OR LOCAL CODE THEN THE STRICTER OF THE CODES SHALL BE ENFORCED IN THAT SITUATION.

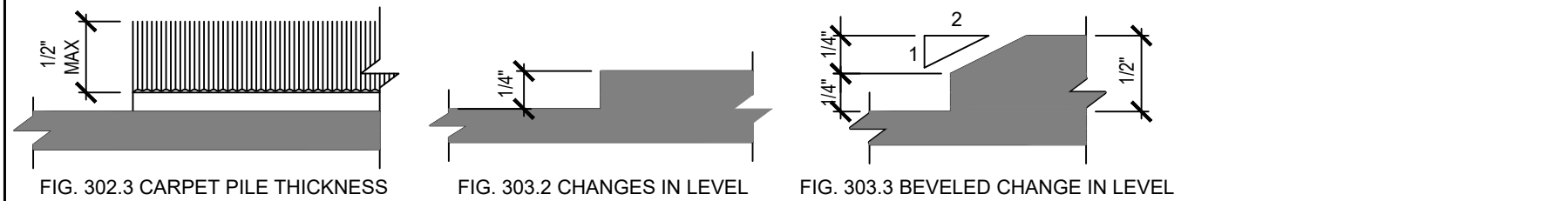
GENERAL NOTES:

- IF THE REQUIREMENTS OF THIS SHEET CANNOT BE ACHIEVED FOR ANY REASON THEN THE G.C. SHOULD NOTIFY THE ARCHITECT IMMEDIATELY.
- G.C. IS RESPONSIBLE FOR HAVING A TWO-FOOT LONG SMART LEVEL ON SITE TO VERIFY COMPLIANCE OF CERTAIN ITEMS WHERE THE TOOL IS NECESSARY.
- G.C. IS RESPONSIBLE FOR HAVING A POUNDS OF PRESSURE DEVICE ON SITE TO VERIFY COMPLIANCE OF CERTAIN ITEMS WHERE THE TOOL IS NECESSARY. DOOR PULLS, GATES, LAVATORY FAUCET LEVERS, WATER CLOSET FLUSH HANDLES AND DRINKING FOUNTAIN CONTROLS MUST ALL REQUIRE 5 LBF OR LESS TO CONTROL POUNDS OF PRESSURE DEVICE RECOMMENDATION:
- G.C. TO PROVIDE 5"Ø CIRCLE TEMPLATE. G.C. TO VERIFY CLEARANCE COMPLIANCE OF REQUIRED TURNING RADIUS AS SHOWN ON PLUMBING SHEET.
- G.C. TO REFERENCE PLUMBING SHEET FOR STORE SPECIFIC PLUMBING LAYOUT

302 FLOOR OR GROUND SURFACES AND 303 CHANGES IN LEVEL

- 302.1 General. Floor and ground surfaces shall be stable, firm, and slip resistant.
- 302.2 Carpet. Carpet or carpet tile shall be securely attached and shall have a firm cushion, pad, or backing or no cushion or pad. Carpet or carpet tile shall have a level loop, textured loop, level cut pile, or level cut/uncut pile texture. Pile height shall be 1/2" max. edge. Carpet edge trim shall comply with 303.
- Exposed edges of carpet shall be fastened to floor surfaces and shall have trim on the entire length of the exposed
- 303.2 Vertical. Changes in level of 1/2" high max shall be permitted to be vertical.
- 303.3 Beveled. Changes in level between 1/2" high min and 1/2" high max shall be beveled with a slope not steeper than 1:2.

CARPET PILE THICKNESS & ACCESSIBLE ROUTE



304 TURNING SPACE TURNING SPACE AND CLEAR FLOOR SPACE

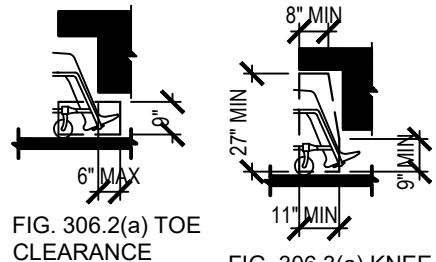
- 304.2 Floor or Ground Surfaces. Floor or ground surfaces of a turning space shall comply with 302. Changes in level are not permitted.
- EXCEPTION: Slopes not steeper than 1:48 shall be permitted.
- 304.3.1 Circular Space. The turning space shall be a space of 60" diameter min. The space shall be permitted to include knee and toe clearance complying with 306.
- 304.3.2 T-Shaped Space. The turning space shall be a T-shaped space within a 60" square min with arms and base 36" wide min. Each arm of the T shall be clear of obstructions 12" min in each direction and the base shall be clear of obstructions 24" min. The space shall be permitted to include knee and toe clearance complying with 306 only at the end of either the base or 1 arm.
- FIG. 304.3.1 CIRCULAR TURNING SPACE FIG. 304.3.2 T-SHAPED TURNING SPACE

305 CLEAR FLOOR OR GROUND SPACE

- 305.2 Floor or Ground Surfaces. Floor or ground surfaces of a clear floor or ground space shall comply with 302. Changes in level are not permitted.
- EXCEPTION: Slopes not steeper than 1:48 shall be permitted.
- 305.3 Size. The clear floor or ground space shall be 30" min by 48" min.
- 305.4 Knee and Toe Clearance. Unless otherwise specified, clear floor or ground space shall be permitted to include knee and toe clearance complying with 306.
- 305.5 Position. Unless otherwise specified, clear floor or ground space shall be positioned for either forward or parallel approach to an element.

306 KNEE AND TOE CLEARANCE

- 306.2 Toe Clearance.
- 306.2.1 General. Space under an element between the finish floor or ground and 9" above the finish floor or ground shall be considered toe clearance and shall comply with 306.2.
- 306.2.2 Max Depth. Toe clearance shall extend 25" max under an element.
- 306.2.3 min Required Depth. Where toe clearance is required at an element as part of a clear floor space, the toe clearance shall extend 17" min under the element.
- 306.2.4 Additional Clearance. Space extending greater than 6" beyond the available knee clearance at 9" above the finish floor or ground shall not be considered toe clearance.
- 306.2.5 Width. Toe clearance shall be 30" wide min.
- 306.3 Knee Clearance.
- 306.3.1 General. Space under an element between 9" and 27" above the finish floor or ground shall be considered knee clearance and shall comply with 306.3.
- 306.3.2 Max Depth. Knee clearance shall extend 25" max under an element at 9" above the finish floor or ground.
- 306.3.3 min Required Depth. Where knee clearance is required under an element as part of a clear floor space, the knee clearance shall be 11" deep min at 9" above the finish floor or ground, and 8" deep min at 27" above the finish floor or ground.
- 306.3.4 Clearance Reduction. Between 9" and 27" above the finish floor or ground, the knee clearance shall be permitted to reduce at a rate of 1" in depth for each 6" in height.
- 306.3.5 Width. Knee clearance shall be 30" wide min.



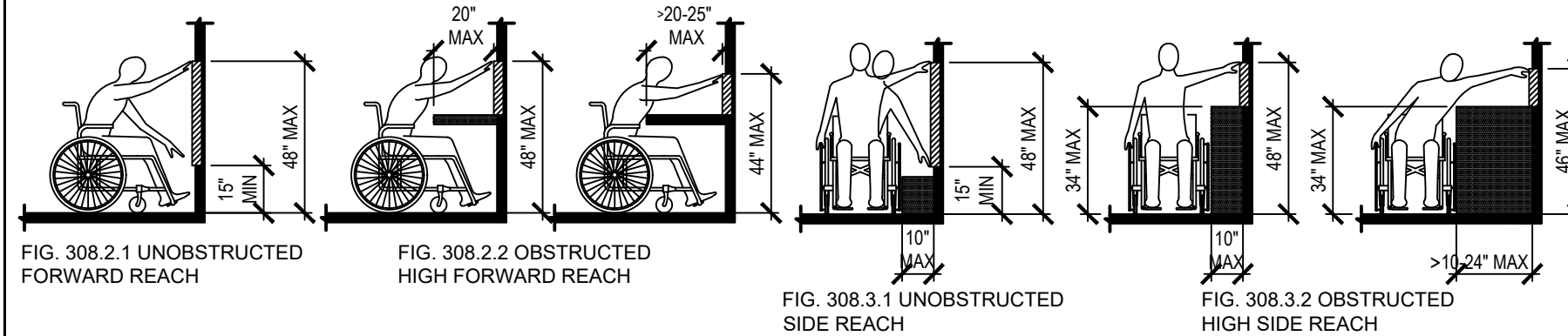
307 PROTRUDING OBJECTS

- 307.2 Protrusion Limits. Objects with leading edges more than 27" and not more than 60" above the finish floor or ground shall protrude 4" max horizontally into the circulation path.
- 307.4 Vertical Clearance. Vertical clearance shall be 80" high min. Guards or other barriers shall be provided where the vertical clearance is less than 80" high. The leading edge of such guardrail or barrier shall be located 27" max above the finish floor or ground.
- 307.5 Required Clear Width. Protruding objects shall not reduce the clear width required for accessible routes.
- FIG. 2 PARALLEL TO A WALL FIG. 3 PERPENDICULAR TO A WALL

308 REACH RANGES

- 308.2.1 Unobstructed. Where a forward reach is unobstructed, the high forward reach shall be 48" max and the low forward reach shall be 15" min above the finish floor or ground.
- 308.2.2 Obstructed High Reach. Where a high forward reach is over an obstruction, the clear floor space shall extend beneath the element for a distance not less than the required reach depth over the obstruction. The high forward reach shall be 48" max where the reach depth is 20" max. Where the reach depth exceeds 20", the high forward reach shall be 44" max and the reach depth shall be 22" max.
- 308.3.1 Unobstructed. Where a clear floor or ground space allows a parallel approach to an element and the side reach is unobstructed, the high side reach shall be 48" max and the low side reach shall be 15" min above the finish floor or ground.
- 308.3.2 Obstructed High Reach. Where a clear floor or ground space allows a parallel approach to an element and the high side reach is over an obstruction, the height of the obstruction shall be 34" max and the depth of the obstruction shall be 24" max. The high side reach shall be 48" max for a reach depth of 10" max. Where the reach depth exceeds 10", the high side reach shall be 46" max for a reach depth of 24" max.

REACH RANGES



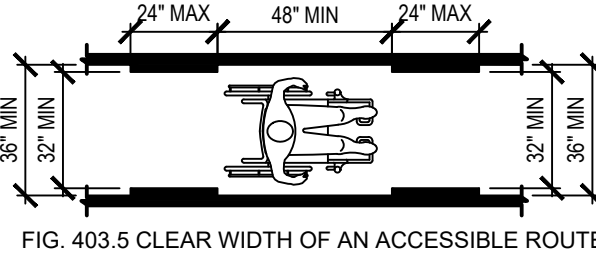
309 OPERABLE PARTS

- 309.2 Clear Floor Space. A clear floor or ground space complying with 305 shall be provided.
- 309.3 Height. Operable parts shall be placed within one or more of the reach ranges specified in 308.
- 309.4 Operation. Operable parts shall be operable with one hand and shall not require tight grasping, pinching, or twisting of the wrist. The force required to activate operable parts shall be 5 pounds max.

403 WALKING SURFACES

- 403.2 Floor or Ground Surface. Floor or ground surfaces shall comply with 302.
- 403.3 Slope. The running slope of walking surfaces shall not be steeper than 1:20. The cross slope of walking surfaces shall not be steeper than 1:48.
- 403.4 Changes in Level. Changes in level shall comply with 303.
- 403.5 Floor or Ground Surface. Floor or ground surfaces shall comply with 302.
- 403.6 Slope. The running slope of walking surfaces shall not be steeper than 1:20. The cross slope of walking surfaces shall not be steeper than 1:48.
- 403.7 Changes in Level. Changes in level shall comply with 303.

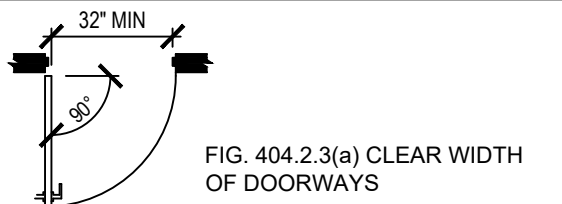
403.5 CLEAR WIDTH OF AN ACCESSIBLE ROUTE



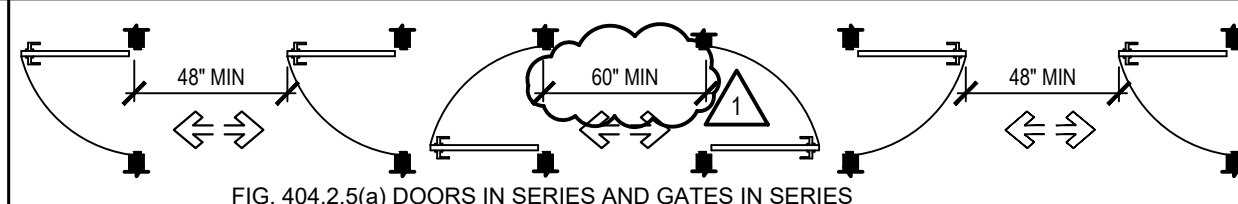
404 DOORS

- 404.2.2 Double-Leaf Doors and Gates. At least one of the active leaves of doorways with swinging doors shall be measured between the face of the door and the stop, with the door open 90 degrees. Openings more than 24" deep shall provide a clear opening of 36" min. There shall be no projections into the required clear opening wider than 34" above the finish floor or ground. Projections into the clear opening wider than 34" and 80" above the finish floor or ground shall not exceed 4".
- 404.2.4 Maneuvering Clearances. min maneuvering clearances at doors and gates shall comply with 404.2.4. Maneuvering clearances shall extend the full width of the doorway and the required latch side or hinge side clearance.
- 404.2.5 Thresholds. Thresholds, if provided at doorways, shall be 1/2" high max. Raised thresholds and changes in level at doorways shall comply with 302 and 303.
- 404.2.6 Doors in Series and Gates in Series. The distance between two hinged or pivoted doors in series and gates in series shall be 48" min plus the width of doors or gates swinging into the space.
- 404.2.7 Door and Gate Hardware. Handles, pulls, latches, locks, and other operable parts on doors and gates shall comply with 309.4. Operable parts of such hardware shall be 34" min and 48" max above the finish floor or ground. Where sliding doors are in the fully open position, operating hardware shall be exposed and usable from both sides.
- 404.2.8.1 Door Closers and Gate Closers. Door closers and gate closers shall be adjusted so that from an open position of 90 degrees, the time required to move the door to a position of 12 degrees from the latch is 5 seconds min.
- 404.2.9 Door/ Gate Opening Force. Fire doors shall have a min opening force allowable by the appropriate administrative authority. The force for pushing or pulling open a door/gate other than fire doors shall be as follows:
- Interior hinged doors and gates: 5 pounds max. Sliding or folding doors: 5 pounds max.

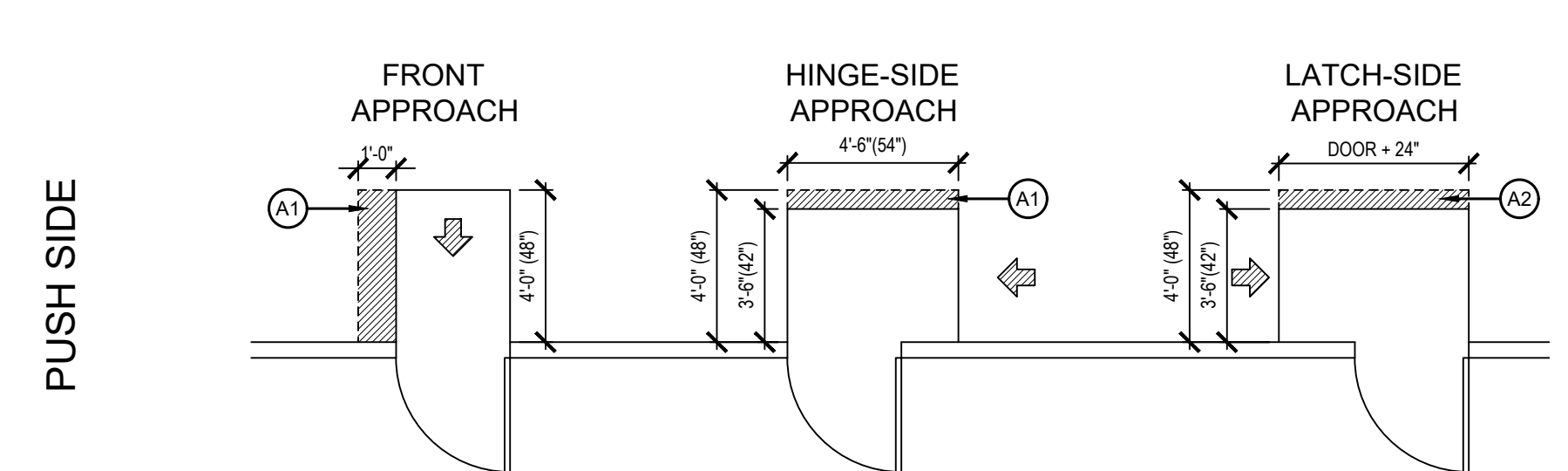
CLEAR DOOR WIDTH



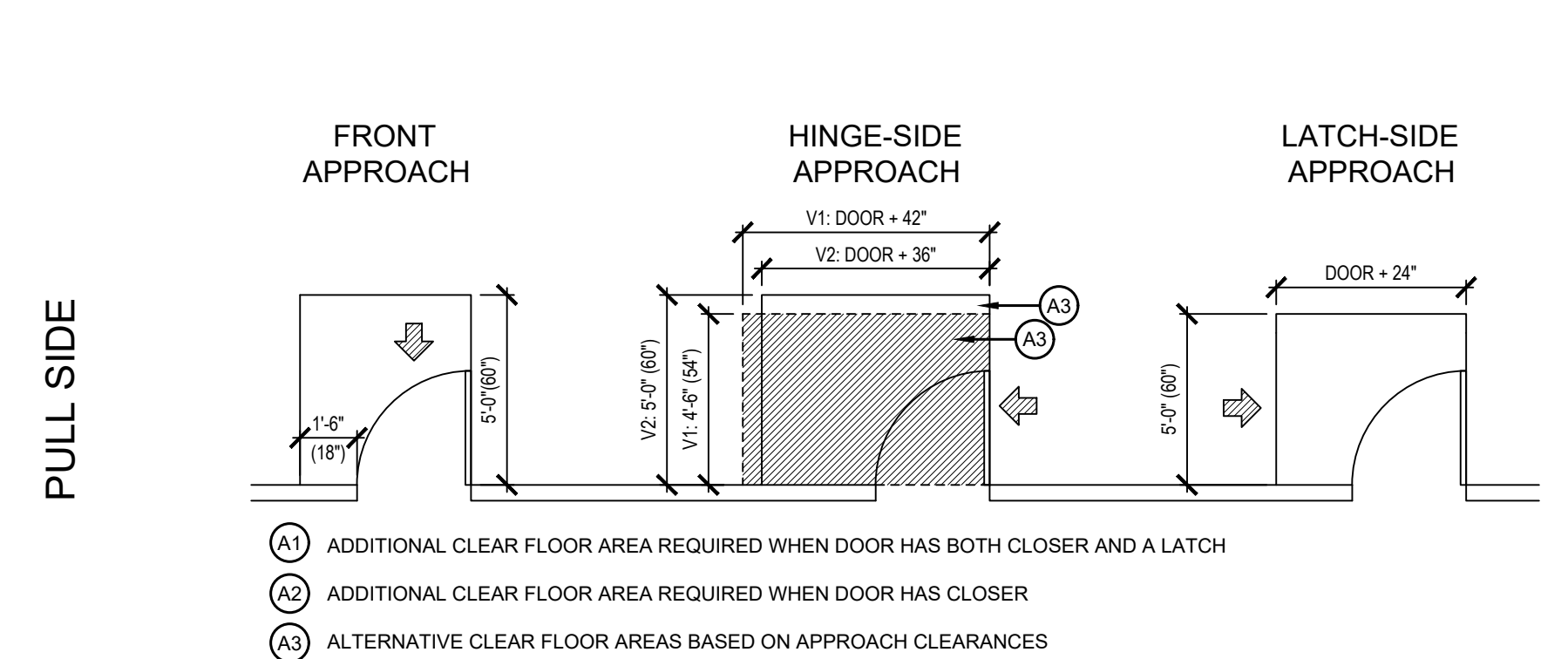
DOORS AND GATES IN SERIES



404.2.4 PUSH SIDE MANEUVERING CLEARANCES AT DOOR

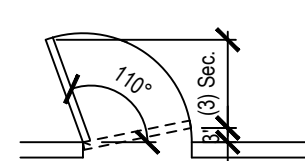


404.2.4 PULL SIDE MANEUVERING CLEARANCES AT DOOR



CLOSER

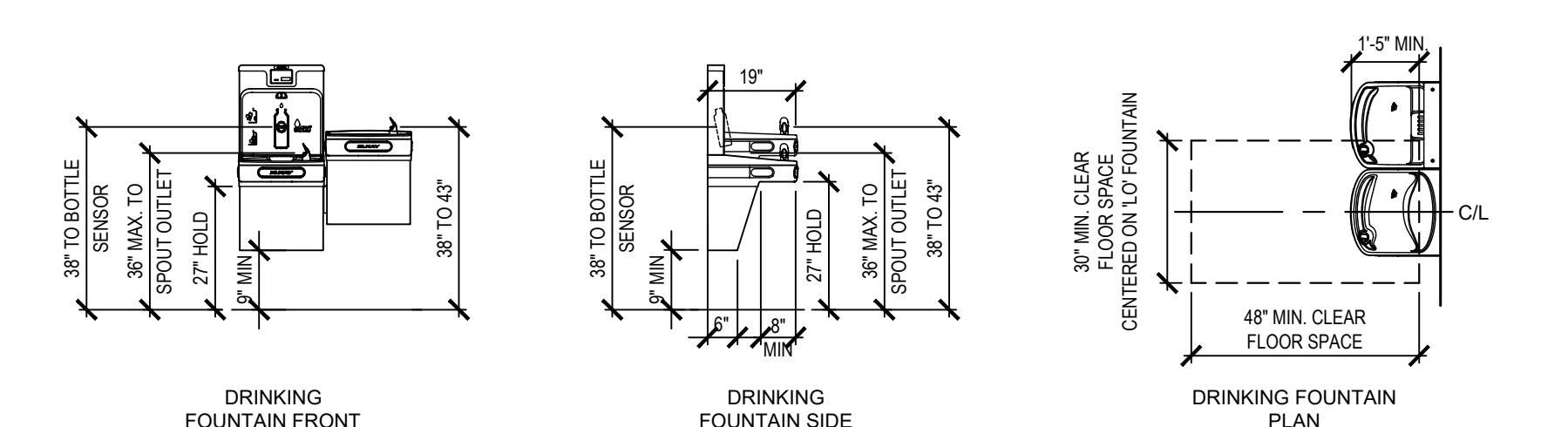
EACH DOOR CONTRACTOR(S) (ALUMN, STOREFRONT/WOOD/HOLLOW METAL) SHALL BE RESPONSIBLE TO ADJUST ALL INTERIOR DOORS SO THAT THE DOOR'S REQUIRED OPENING FORCE IS 5lbs OR LESS. ANY DOOR w/ A CLOSER SHALL BE ADJUSTED TO SLOW THE CLOSING TIME TO A MINIMUM OF THREE SECS. FROM A STARTING POINT OF 110° OPEN TO 3° FROM CLOSING - REFER TO DIAGRAM:



602 DRINKING FOUNTAINS

- 602.2 Clear Floor Space. Units shall have a clear floor or ground space complying with 305 positioned for a forward approach and centered on the unit. Knee and toe clearance complying with 306 shall be provided.
- 602.3 Operable Parts. Operable parts shall comply with 309.
- 602.4 Spout Height. Spout outlets shall be 38" max above the finish floor or ground.
- 602.5 Spout Location. The spout shall be located 15" min from the vertical support and 5" max from the front edge of the unit, including bumpers.
- 602.6 Water Flow. The spout shall provide a flow of water 4" high min and shall be located 5" max from the front of the unit. The angle of the water stream shall be measured horizontally relative to the front face of the unit. Where spouts are located less than 3" of the front of the unit, the angle of the water stream shall be 30 degrees max. Where spouts are located between 3" and 5" max from the front of the unit, the angle of the water stream shall be 15 degrees max.
- 602.7 Drinking Fountains for Standing Persons. Spout outlets of drinking fountains for standing persons shall be 38" min and 43" max above the finish floor or ground.

DRINKING FOUNTAIN



604 WATER CLOSETS

- 604.2 Location. The water closet shall be positioned with a wall or partition to the rear and to one side. The centerline of the water closet shall be 16" min to 18" max from the side wall. Water closets shall be arranged for a left-hand or right-hand approach.
- 604.3.1 Size. Clearance around a water closet shall be 60" min measured perpendicular from the side wall and 56" min measured perpendicular from the rear wall.
- 604.3.2 Overlap. The required clearance around the water closet shall be permitted to overlap the water closet, associated grab bars, dispensers, sanitary napkin disposal units, coat hooks, shelves, accessible routes, clear floor space and clearances required at other fixtures, and the turning space. No other fixtures or obstructions shall be located within the required water closet clearance.
- 604.4 Seats. The seat height of a water closet above the finish floor shall be 17" min and 19" max measured to the top of the seat. Seats shall not be sprung to return to a lifted position.
- 604.5.1 Side Wall. The side wall grab bar shall be 42" long min, located 12" max from the rear wall and extending 54" min from the rear wall.
- 604.5.2 Rear Wall. The rear wall grab bar shall be 36" long min and extend from the centerline of the water closet 12" min on one side and 24" min on the other side.
- 604.6 Flush Controls. Flush controls shall be hand operated or automatic. Hand operated flush controls shall comply with 309. Flush controls shall be located on the open side of the water closet.
- 604.7 Dispensers. Toilet paper dispensers shall comply with 309.4 and shall be 7" min and 9" max in front of the water closet measured to the centerline of the dispenser. The outlet of the dispenser shall be 15" min and 48" max above the finish floor and shall not be located behind grab bars. Dispensers shall not be of a type that controls delivery or that does not allow continuous paper flow.

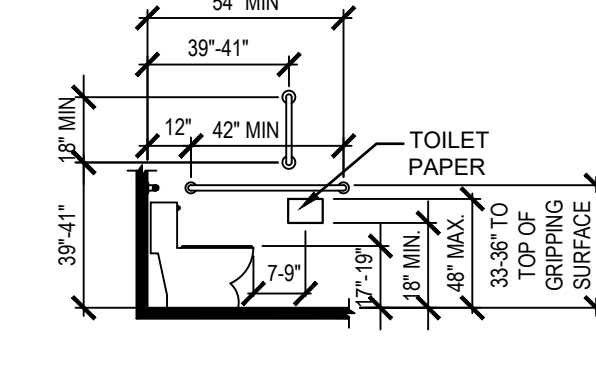
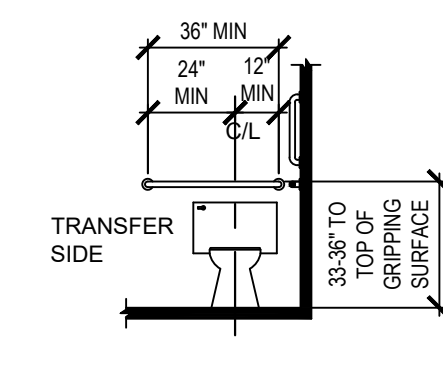
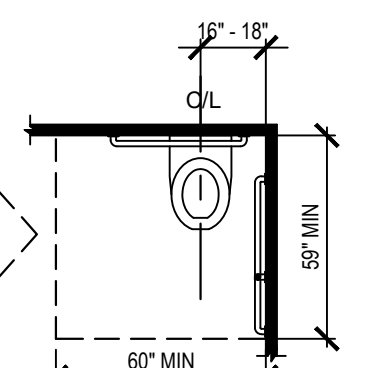


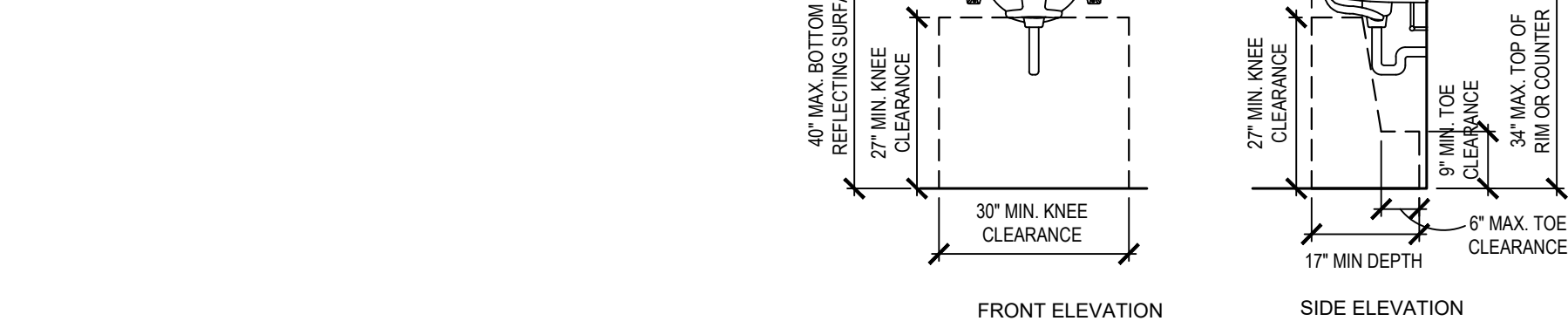
FIG. 604.3.1 SIZE OF CLEARANCE AT WATER CLOSETS

FIG. 604.5.2 REAR WALL GRAB BAR AT WATER CLOSETS

FIG. 604.5.1 SIDE WALL GRAB BAR AT WATER CLOSETS

606 LAVATORIES AND MIRRORS

- 606.2 Clear Floor Space. A clear floor space complying with 305, positioned for a forward approach, and knee and toe clearance complying with 306 shall be provided.
- 606.3 Height. Lavatories and sinks shall be installed with the front of the higher of the rim or counter surface 34" max above the finish floor or ground.
- 606.4 Faucets. Controls for faucets shall comply with 309. Hand-operated metering faucets shall remain open for 10 seconds min.
- 606.5 Exposed Pipes and Surfaces. Water supply and drain pipes under lavatories and sinks shall be insulated or otherwise configured to protect against contact. There shall be no sharp or abrasive surfaces under lavatories and sinks.
- 606.3 Mirrors. Mirrors located above lavatories or countertops shall be installed with the bottom edge of the reflecting surface 40" max above the finish floor or ground. Mirrors not located above lavatories or countertops shall be installed with the bottom edge of the reflecting surface 35" max above the finish floor or ground.



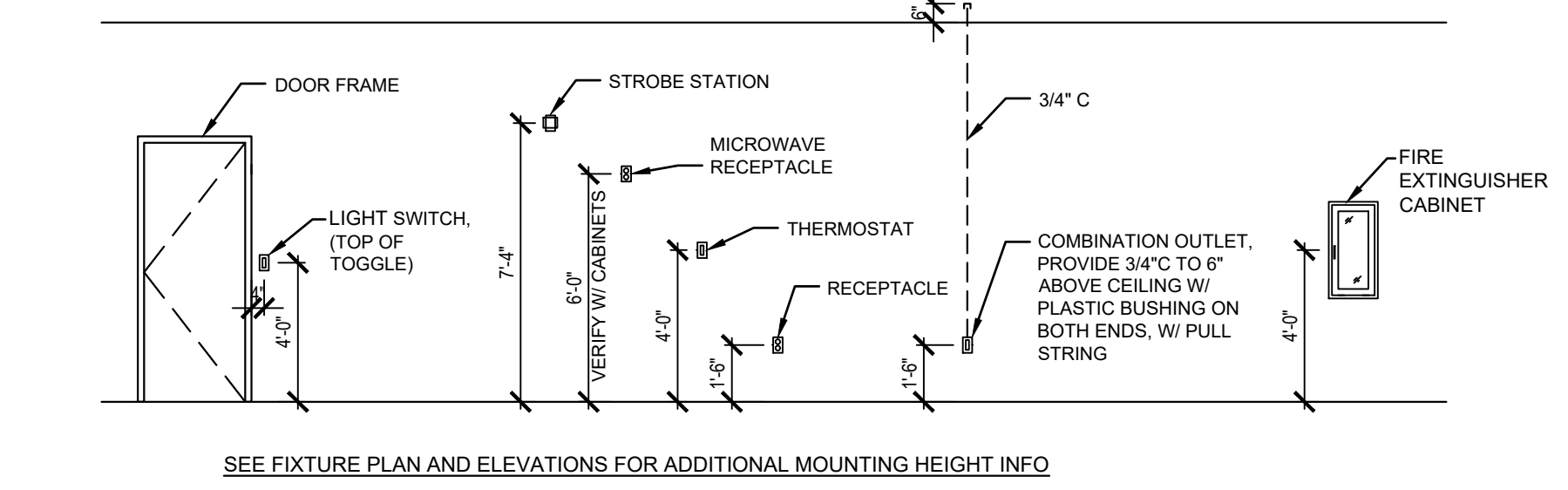
609 GRAB BARS


- 609.2.1 Circular Cross Section. Grab bars with circular cross sections shall have an outside diameter of 1 1/2" min and 2" max.
- 609.3 Spacing. The space between the wall and the grab bar shall be 1 1/2". The space between the grab bar and projecting objects below and at the ends shall be 1 1/2" min. The space between the grab bar and projecting objects above shall be 12" min.
- 609.4 Position of Grab Bars. Grab bars shall be installed in a horizontal position, 33" min and 36" max above the finish floor measured to the top of the gripping surface.
- 609.5 Surface Hazards. Grab bars and any wall or other surfaces adjacent to grab bars shall be free of sharp or abrasive elements and shall have rounded edges.
- 609.6 Fitings. Grab bars shall not rotate within their fittings.
- 609.7 Installation. Grab bars shall be installed in any manner that provides a gripping surface at the specified locations and that does not obstruct the required clear floor space.
- 609.8 Structural Strength. Allowable stresses shall not be exceeded for materials used when a vertical or horizontal force of 250 pounds is applied at any point on the grab bar, fastener, mounting device, or supporting structure.

703 SIGNS

- 703.1 General. Signs shall comply with 703. Where both visual and tactile characters are required, either one sign with both visual and tactile characters, or two separate signs, one with visual, and one with tactile characters, shall be provided.
- 703.2 Raised Characters. Raised characters shall comply with 703.2 and shall be duplicated in braille complying with 703.3. Raised characters shall be installed in accordance with 703.4.
- 703.2.1 Depth. Raised characters shall be 1/32" min above their background.
- 703.2.2 Case. Characters shall be uppercase.
- 703.2.3 Style. Characters shall be sans serif. Characters shall not be italic, oblique, script, highly decorative, or of other unusual forms.
- 703.2.4 Character Proportions. Characters shall be selected from fonts where the width of the uppercase letter "O" is 55 percent min and 110 percent max of the height of the uppercase letter "I".
- 703.2.5 Character Height. Character height measured vertically from the baseline of the character shall be 5/8" min and 2" max based on the height of the uppercase letter "I".
- EXCEPTION: Where separate raised and visual characters with the same information are provided, raised character height shall be permitted to be 1/2" min.
- 703.2.6 Stroke Thickness. Stroke thickness of the uppercase letter "I" shall be 15 percent max of the height of the character.
- 703.2.7 Character Spacing. Character spacing shall be measured between the two closest points of adjacent raised characters within a message, excluding word spaces. Where characters have rectangular cross sections, spacing between individual raised characters shall be 1/8" min and 4 times the raised character stroke width max at the base of the cross sections, and 1/8" min and 4 times the raised character stroke width max at the top of the cross sections. Characters shall be separated from raised borders and decorative elements 3/8" min.
- 703.2.8 Line Spacing. Spacing between the baselines of separate lines of raised characters within a message shall be 135 percent min and 170 percent max of the raised character height.
- 703.3 Braille. Braille shall be contracted (Grade 2) and shall comply with 703.3 and 703.4.
- 703.3.1 Dimensions and Capitalization. Braille dots shall have a domed or rounded shape and shall comply with Table 703.3.1. The indication of an uppercase letter or letters shall only be used before the first word of sentences, proper nouns and names, individual letters of the alphabet, initials, and acronyms.
- 703.3.2 Position. Braille shall be positioned below the corresponding text. If text is multi-lined, braille shall be placed below the entire text. Braille shall be separated 3/8" min from any other tactile characters and 3/8" min from raised borders and decorative elements.
- 703.4 Installation Height and Location. Signs with tactile characters shall comply with 703.4.
- 703.4.1 Height Above Finish Floor or Ground. Tactile characters on signs shall be located 48" min above the finish floor or ground surface, measured from the baseline of the lowest tactile character and 60" max above the finish floor or ground surface, measured from the baseline of the highest tactile character.
- 703.4.2 Location. Where a tactile sign is provided at a door, the sign shall be located alongside the door at the latch side. Where a tactile sign is provided at double doors with one active leaf, the sign shall be located on the inactive leaf. Where a tactile sign is provided at double doors with two active leaves, the sign shall be located to the right of the right hand door. Where there is no wall space at the latch side of a single door or at the right side of double doors, signs shall be located on the nearest adjacent wall. Signs containing tactile characters shall be located so that a clear floor space of 18" min by 18" min, centered on the tactile characters, is provided beyond the arc of any door swing between the closed position and 45 degree open position.
- EXCEPTION: Signs with tactile characters shall be permitted on the push side of doors with closers and without hold-open devices.
- 703.5 Visual Characters. Visual characters shall comply with 703.5.
- EXCEPTION: Where visual characters comply with 703.2 and are accompanied by braille complying with 703.3, they shall not be required to comply with 703.5.2 through 703.5.9.
- 703.5.1 Finish and Contrast. Characters and their background shall have a non-glare finish. Characters shall contrast with their background with either light characters on a dark background or dark characters on a light background.
- 703.5.2 Case. Characters shall be uppercase or lowercase or a combination of both.
- 703.5.3 Style. Characters shall be conventional in form. Characters shall not be italic, oblique, script, highly decorative, or of other unusual forms.
- 703.5.4 Character Proportions. Characters shall be selected from fonts where the width of the uppercase letter "O" is 55 percent min and 110 percent max of the height of the uppercase letter "I".
- 703.5.5 Character Height. min character height shall comply with Table 703.5.5. Viewing distance shall be measured as the horizontal distance between the character and an obstruction preventing further approach towards the sign. Character height shall be based on the uppercase letter "I".
- 703.5.6 Height From Finish Floor or Ground. Visual characters shall be 40" min above the finish floor or ground.
- 703.5.7 Stroke Thickness. Stroke thickness of the uppercase letter "I" shall be 10 percent min and 30 percent max of the height of the character.
- 703.5.8 Character Spacing. Character spacing shall be measured between the two closest points of adjacent characters, excluding word spaces. Spacing between individual characters shall be 10 percent min and 35 percent max of character height.
- 703.5.9 Line Spacing. Spacing between the baselines of separate lines of characters within a message shall be 135 percent min and 170 percent max of the character height.
- 703.6 Pictograms. Pictograms shall comply with 703.6.
- 703.6.1 Pictogram Field. Pictograms shall have a field height of 6" min. Characters and braille shall not be located in the pictogram field.
- 703.6.2 Finish and Contrast. Pictograms and their field shall have a non-glare finish. Pictograms shall contrast with their field with either a light pictogram on a dark field or a dark pictogram on a light field.
- 703.6.3 Text Descriptors. Pictograms shall have text descriptors located directly below the pictogram field.
- Text descriptors shall comply with 703.2, 703.3 and 703.4.
- 703.7 Symbols of Accessibility. Symbols of accessibility shall comply with 703.7.
- 703.7.1 Finish and Contrast. Symbols of accessibility and their background shall have a non-glare finish. Symbols of accessibility shall contrast with their background with either a light symbol on a dark background or a dark symbol on a light background.

TYPICAL DEVICE MOUNTING HEIGHTS



Proj. Mgr. KB	
Job. Capt. RB	
Drawn by KB	
Rev'd by RB	
Digitally signed by Ronald Barr Date: 2023.01.24 09:13:39 -05'00'	

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Revisions	BUILDING COMMENTS
1	01.23.23

5746 S WADSWORTH BLVD, SUITE #3100
LITTLETON, CO 80123

JEFFERSON
THIS DRAWING HAS BEEN REVIEWED FOR CODE COMPLIANCE
DATE: 01/13/2023 BY: R. BARR

BARR ARCHITECTURE, INC.
The Design-Build Team
architects • general contractors

AA# 26003152
5011 South State Road 7, Suite #107, Davie, Florida 33314
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architecture • construction management • planning • interiors

Sheet Title:
ADA REQUIREMENTS

Scale:
NOTED

Date:
10.28.22

Project No:
22-2408

Sheet No:
G-002

GENERAL SHEET NOTES

- DO NOT SCALE DRAWINGS.
- EXISTING EGRESS PATHS FOR THE BUILDING WHICH ARE ADJACENT TO OR AFFECTED BY THE PROPOSED WORK SHALL BE MAINTAINED TO CODE THROUGHOUT THE PERFORMANCE OF THE WORK.
- THE CONTRACTOR SHALL EXERCISE CARE IN CARRYING OUT HIS DUTIES AND IN THE PERFORMANCE OF HIS WORK SO AS TO MINIMIZE DAMAGES TO EXISTING EQUIPMENT, APPARATUS, WALLS AND SURFACES THAT ARE TO REMAIN. SHOULD SUCH ITEMS BE DAMAGED, THE CONTRACTOR SHALL REPLACE THE DAMAGED ITEMS OR PERFORM REMEDIAL WORK AT NO COST TO THE OWNER.
- REMOVE ALL EXISTING INTERIOR WALLS, DOORS, FRAMES, FIXTURES, PLUMBING FIXTURES, ACCESSORIES, MILLWORK AND ANY OBSOLETE EQUIPMENT, CONDUITS, PIPING, ETC, THROUGHOUT PROPOSED NEW DEMISED TENANT SPACE AS REQUIRED. GC TO VERIFY THAT OBSOLETE POWER AND DATA HAVE BEEN REMOVED AND TERMINATED AT SOURCE AND PLUMBING SYSTEM ARE PROPERLY TERMINATED BELOW THE SLAB. SEE MEP DRAWINGS FOR MORE INFORMATION.
- ENTIRE LAY IN CEILING SYSTEM, DRYWALL FURR DOWNS, LIGHT FIXTURES, MECHANICAL GRILLS, TO BE REMOVED IN AREA OF TENANT BUILDOUT AS REQUIRED. SEE A-101 FOR EXTENTS OF TENANT BUILDOUT.
- REMOVE EXISTING FLOORING IN ALL AREAS, UNO. PATCH, REPAIR, LEVEL AND PREP CONCRETE TO RECEIVE NEW FINISHES.
- SAW CUT EXISTING CONCRETE SLAB AND TRENCH FOR NEW UNDER SLAB SANITARY PLUMBING WORK. SEE FLOOR PLAN AND PLUMBING DRAWINGS. GC TO THOROUGHLY CLEAN EXISTING SLAB AS REQUIRED FOR NEW SCHEDULED FLOORING AFTER ALL SLAB PATCHING FOR NEW PLUMBING IS COMPLETE. GRIND DOWN SMOOTH, ROUGH AREAS OR HIGH SPOTS. SEE DETAILS 10/A501 & 11/A501 FOR NEW SLAB INFILL.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO IDENTIFY POINTS OF ACCESS TO THE BUILDING AND TO VERIFY MINIMUM CLEARANCES AVAILABLE FOR USE IN TRANSPORTING NECESSARY CONSTRUCTION MACHINERY, EQUIPMENT, AND COMPONENTS INTO THE BUILDING. USE OF SUCH POINTS OF ACCESS SHALL BE APPROVED BY THE OWNER. GC SHALL PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT OWNER'S AND TENANT'S PERSONNEL AND GENERAL PUBLIC FROM INJURY DUE TO DEMOLITION WORK.
- PROVIDE DUST PROOF PARTITIONS AND CLOSURES AS REQUIRED TO PREVENT SPREAD OF DUST OR FUMES TO OCCUPIED PORTIONS OF THE BUILDING. COORDINATE WITH THE OWNER ANY CONSTRUCTION ACTIVITIES WHICH MAY IMPEDE NORMAL OPERATIONS, INCLUDING ANY ACTIVITY WHICH OPERATES EXCESSIVE NOISE, AIRBORNE DIRT OR DISRUPTS THE NORMAL FUNCTIONALITY OF THE SPACE. MAINTAIN CONTINUITY OF SERVICES TO OCCUPIED AREAS OF THE BUILDING. PROTECT ANY ITEMS INDICATED "TO REMAIN" FROM BEING SOILED OR DAMAGED.
- REMOVE AND REPLACE ALL GYP BOARD AT DEMISING WALLS, EXTERIOR WALLS, AND ANY REMAINING WALLS AS REQUIRED. CHECK FOR MOLD AND REPORT FINDINGS TO ARCHITECT AND PROJECT MANAGER. IF REMOVING GYP BOARD FROM A RATED WALL, REPLACE GYP BOARD SO RATING REMAINS THE SAME.

EXISTING LIFE SAFETY AND EMERGENCY SYSTEMS NOTES

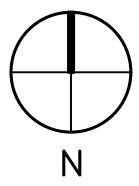
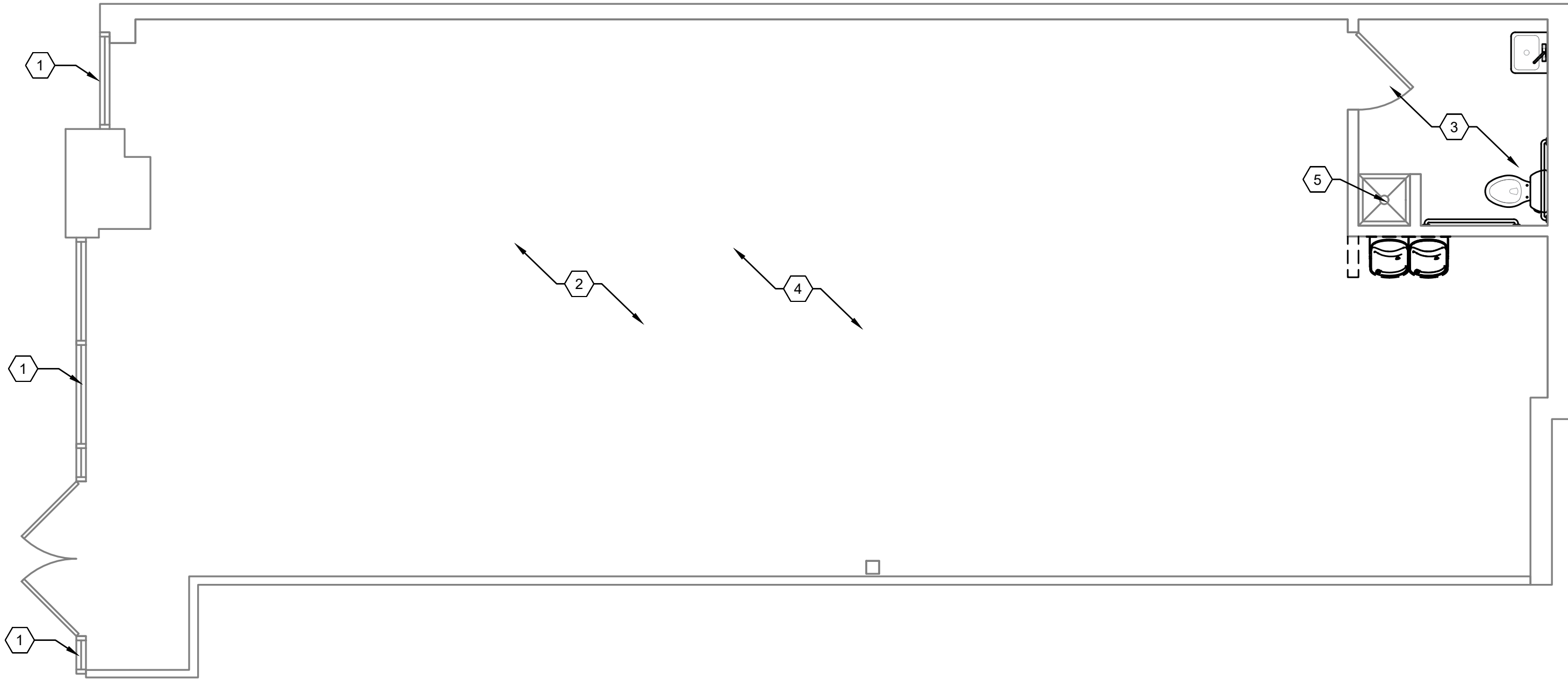
- IT IS RESPONSIBILITY OF THE GENERAL CONTRACTOR TO IDENTIFY EXISTING COMPONENTS AND ASSEMBLIES WITHIN THE BUILDING THAT ARE CONSTRUCTED AS FIRE-RATED ASSEMBLIES AND TO DETERMINE THEIR HOURLY RATING. WHEN THE EXECUTION OF NEW WORK REQUIRES THAT THESE ASSEMBLIES BE DISTURBED, THE CONTRACTOR SHALL UNDERTAKE TO REPAIR THE EXISTING WORK SO THAT THE REQUIRED FIRE RATING IS MAINTAINED. EXISTING LIFE SAFETY AND EMERGENCY SYSTEMS MY NOT BE SHOWN ON THE DRAWINGS IN THEIR ENTIRETY.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF LOCATION AND EXTENT OF THESE SYSTEMS (INCLUDING, BUT NOT LIMITED TO, FIRE SPRINKLER SYSTEMS, SMOKE DETECTION SYSTEMS AND EMERGENCY LIGHTING SYSTEMS) AS THEY MAY BE AFFECTED BY NEW WORK. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ACCOMMODATING THESE SYSTEMS WHEN AFFECTED BY NEW WORK SO THAT ALL APPLICABLE CODE REQUIREMENTS ARE SATISFIED.

DEMOLITION KEYNOTES

- EXISTING STOREFRONT CONSTRUCTION TO REMAIN, TYP. U.N.O.
- REMOVE ALL CEILING AND LIGHTING THROUGHOUT. DUCTING TO REMAIN - RELOCATE REGISTERS PER MECHANICAL PLAN - REPLACE DIFFUSERS AS NEEDED
- EXISTING ADA COMPLIANT RESTROOM TO REMAIN
- REMOVE ALL FINISHES, FURNITURE AND EQUIPMENT THROUGHOUT. PROPERLY TERMINATE PLUMBING SYSTEMS BELOW SLAB AS REQUIRED
- EXISTING MOP SINK TO REMAIN.

DEMOLITION LEGEND

- INDICATES EXISTING CONSTRUCTION TO REMAIN
- - - - - INDICATES EXISTING CONSTRUCTION TO BE DEMOLISHED



1
D-101

DEMOLITION FLOOR PLAN

SCALE: 1/4"=1'-0"



Proj. Mgr.
KB

Job. Capt.
RB

Drawn by
KB

Rev'd by
RB



Digitally signed by
Ronald Barr
Date: 2023.01.24
09:14:07 -05'00'

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Revisions

1	BUILDING COMMENTS 01.23.23

dekalash®



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architecture • construction management • planning • interiors

Sheet Title:

DEMOLITION
FLOOR PLAN

Scale:

NOTED

Date:

10.28.22

Project No.

22-2408

Sheet No.

D-101

GENERAL SHEET NOTES

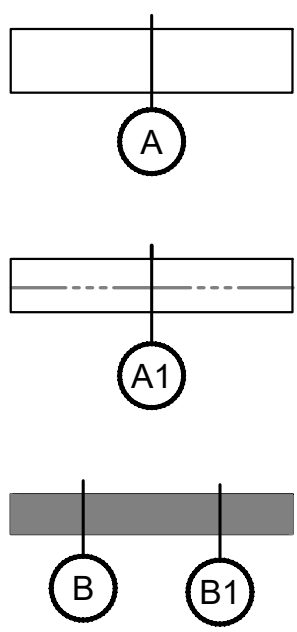
- THE GENERAL CONTRACTOR (G.C.) SHALL VERIFY DIMENSIONS OF THE EXISTING SPACE & OF ANY EXISTING CONSTRUCTION TO REMAIN BY ACTUAL MEASUREMENT BEFORE ANY WORK IS PERFORMED. IF MEASUREMENTS DIFFER FROM DIMENSIONS INDICATED ON THESE PLANS, THE G.C. IS TO NOTIFY THE TENANT IMMEDIATELY. THE G.C. IS RESPONSIBLE FOR CORRECTING ANY & ALL DISCREPANCIES AT NO ADDITIONAL EXPENSE TO TENANT.
- GENERAL CONTRACTOR SHALL INSPECT ALL SLAB AREAS PRIOR TO SUBMITTING A BID AND INCLUDE IN THEIR BID THE FOLLOWING: REFER TO GENERAL NOTES 3, 4 & 5.
- G.C. IS RESPONSIBLE FOR A SMOOTH, LEVEL SLAB (1/8" MAX SLOPE IN 10'-0" IN ALL DIRECTIONS) AND A STRUCTURALLY SOUND SLAB.
- G.C. SHALL REMOVE EXISTING FLOORING IN ALL AREAS, UNO. G.C. SHALL PATCH, REPAIR, LEVEL AND PREP CONCRETE TO RECEIVE NEW FINISHES. SAW CUT CONCRETE SLAB AND TRENCH SHALL BE PROVIDED FOR NEW UNDER SLAB SANITARY PLUMBING WORK. SEE FLOOR PLAN AND PLUMBING DRAWINGS. GC SHALL THOROUGHLY CLEAN EXISTING SLAB AS REQUIRED FOR NEW FLOORING MATERIALS AFTER ALL SLAB PATCHING FOR NEW PLUMBING IS COMPLETE. GRIND DOWN SMOOTH, ROUGH AREAS OR HIGH SPOTS. COORDINATE ANY TRENCHING LOCATIONS W/ MEP SHEETS. GC SHALL PATCH AND REPAIR CONCRETE SLAB TO LIKE NEW CONDITIONS AND PREPARE FOR NEW FINISHES.
- THE G.C. SHALL PATCH & REPAIR ALL EXISTING SURFACES AS NECESSARY BEFORE APPLYING NEW FINISHES. ALL SOFT, POROUS, FLAKING OR OTHERWISE DEFECTIVE FINISHES SHALL BE REMOVED BEFORE APPLICATION OF NEW MATERIALS. OPENINGS, VOIDS, OR UNFINISHED SURFACES CREATED BY REMOVAL OR MODIFICATION OF EXISTING WORK SHALL BE FILLED OR PATCH & FINISHED AS NECESSARY TO MATCH EXISTING CONDITIONS FOR NEW FINISHES REQ. SPECIFICALLY, FLOOR SURFACES AT ENTRY SHALL BE LEVELLED TO ASSURE SMOOTH SURFACE TRANSITION BETWEEN EXISTING & NEW FLOOR FINISH MATERIALS. PRIOR TO INSTALLATION OF ALL FLOORING, GC SHALL TEST MOISTURE OF SLAB AND ENSURE IT IS WITHIN THE MANUFACTURER'S SPECIFIED ALLOWANCE. GC SHALL PROVIDE PROTECTION FOR ALL FLOORING AFTER INSTALLATION TO PREVENT ANY DAMAGE.
- G.C. SHALL VERIFY THAT DEMISING WALLS EXTEND TO STRUCTURE ABOVE AND ALL PENETRATIONS ARE SEALED TIGHT, AS REQUIRED BY LANDLORD AND SHALL PROVIDE ALL WORK REQUIRED TO CORRECT DEFICIENT CONDITIONS.
- THE G.C. IS RESPONSIBLE TO MAINTAIN THE ARCHITECTURAL, STRUCTURAL AND FIRE RATING INTEGRITY OF THE LANDLORD'S DEMISING WALLS, FLOOR SLAB, BEAMS, COLUMNS, ROOF DECK, ETC.
- ALL METAL STUDS ARE TO BE 20 GA. TYPICAL NON-LOAD BEARING PARTITIONS. SEE USG STEEL-FRAMED DRYWALL SYSTEMS "LIMITING HEIGHT - STEEL STUD ASSEMBLIES" CHART. USE THE L/240 ALLOWABLE DEFLECTION FIGURES ONLY.
- ALL GYPSUM BOARD TO BE 5/8" TYPE "X" UNLESS NOTED OTHERWISE.
- THE G.C. SHALL BE RESPONSIBLE FOR COORDINATING SECURITY & ACCESS CONTROL INTERRELATED WORK, BEFORE INSTALLATION OR WORK BY ANY TRADE BEGINS, MAKE PROPER PROVISIONS TO AVOID INTERFERENCES. THIS SHALL INCLUDE WORK BY ANY OF THE TENANTS SUBCONTRACTORS AS WELL AS THOSE UNDER CONTRACT W/ THE G.C.
- PROVIDE METAL OR F.R.T. WOOD BLOCKING FOR ALL SIGNS, HOOKS, TOILET ROOM ACCESSORIES & ANY OTHER WALL MOUNTED EQUIPMENT. COORDINATE ALL BLOCKING REQUIREMENTS NECESSARY FOR MILLWORK W/ MILLWORK.
- ALL FRAMING LUMBER, PLYWOOD AND CONCEALED WOOD SHALL BE FIRE RETARDANT TREATED (F.R.T.) - NO WOOD IN CEILING PLENUM ABOVE SPRINKLER COVERAGE. DIMENSIONS ARE FROM FACE OF GYPSUM WALL BOARD OR CENTERLINE OF COLUMN. ALL ELEVATIONS ARE FROM FINISH FLOOR ELEVATION.
- ALL INTERIOR FINISH & TRIM MATERIALS SHALL MEET APPLICABLE CODES FOR FLAME SPREAD RATINGS.
- MINIMUM DIMENSION FROM ANY CORNER OR WALL TO FRAMING STUD AT DOOR JAMB OPENING SHALL BE 4" (U.N.O.)
- THE G.C. SHALL PROVIDE CAULK JOINTS WHERE GYP. BD. MEETS THE FLOOR OR ROOF DECK - PACK FLUTES AT DECK AS REQUIRED.
- PROVIDE DRYWALL TRIM AT ALL EXPOSED EDGES AND CORNERS.
- TENANT'S CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL WITHIN THE LANDLORD'S TENANT CRITERIA MANUAL INCLUDING ITS RULES AND REGULATION.
- ALL SUPPORTS TO BE FROM STRUCTURAL JOISTS AND BEAMS AND NOT FROM THE DECK ABOVE.
- EXISTING STOREFRONT MULLIONS AND EXTERIOR DOORS NO LONGER IN USE TO BE CLEANED, ANY HOLES INFILLED, SEALED, HARDWARE REMOVED AND CAPPED. PATCH AND REPAIR AS REQUIRED AND REFINISH TO LIKE NEW CONDITION. FINISH TO MATCH EXISTING ADJACENT, U.N.O.
- G.C. SHALL BE RESPONSIBLE FOR COORDINATING SECURITY & ACCESS CONTROL SYSTEM WITH OWNERS SUB-CONTRACTOR TO ENSURE THAT CERTIFICATE OF OPENING IS NOT DELAYED.
- ALL SECURITY SYSTEM CAMERAS SHALL BE DOME CAMERAS.
- HVAC CONTRACTOR SHALL CLEAN COILS AND CHANGE FILTERS PRIOR TO TURN OVER.
- THE SECURITY SYSTEM SHALL BE PROVIDED BY OTHERS UNDER A SEPARATE PERMIT.
- THE FIRE ALARM CONTRACTOR SHALL INSTALL WIRES TO THE ACCESS CONTROL PANEL.
- THE ACCESS CONTROL CONTRACTOR SHALL MAKE THE FINAL CONNECTIONS.
- WHEN AVAILABLE ALL TELECOMMUNICATIONS AND SECURITY/ACCESS CONTROL SYSTEMS SHALL BE PLACED IN A SECURE CLOSET.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL CLEANING PRIOR TO TURNING THE SPACE OVER TO THE TENANT. CLEANING SHALL INCLUDE BUT NOT BE LIMITED TO: REMOVAL OF GREASE, MASTIC, ADHESIVES, DUST, DIRT, STAINS, FINGERPRINTS, LABELS, AND OTHER FOREIGN MATERIALS FROM EXPOSED INTERIOR AND EXTERIOR SURFACES. PRESSURE WASH EXTERIOR PAVED SURFACES.
- ALL CEILING HEIGHTS ARE FROM TOP OF FINISH FLOOR TO UNDERSIDE OF FINISH CEILING OR LIGHT FIXTURE - TYP. U.N.O.
- ALL CEILING HEIGHTS TO BE COORDINATED AND CONFIRMED IN THE FIELD. IF A CEILING HEIGHT NOTED CANNOT BE ACHIEVED, NOTIFY ARCHITECT AND PROJECT MANAGER IMMEDIATELY.
- THE G.C. SHALL SET ALL CEILING AND SOFFITS USING A LASER LEVEL TO ACHIEVE A CEILING SQUARE TO ALL WALLS AND SOFFITS.
- LATERAL BRACING FOR SUSPENDED CEILING MUST BE PROVIDED BY CEILING CONTRACTOR. ADDITIONAL HANGER AND SAFETY WIRES FOR LIGHT FIXTURES, DUCTWORK, SPEAKERS, ETC. TO BE THE RESPONSIBILITY OF THE CEILING CONTRACTOR.
- THE G.C. TO VERIFY W/ LL. METHOD OF ATTACHMENT FOR ALL ITEMS ANCHORED TO, OR SUSPENDED FROM EXISTING STRUCTURE.
- ARCH. DRAWINGS DETERMINE THE LOCATION OF LUMINAIRES & SUPERSEDE ALL OTHERS, TYP. U.N.O. REFER TO ELEC. DRAWINGS FOR EXACT FIXTURE TYPE & QUANTITIES PROVIDED.
- REFER TO MECHANICAL DRAWINGS FOR EXPOSED LOCATIONS OF DIFFUSERS & SUSPENDED MECHANICAL DUCTWORK DISTRIBUTION SYSTEM.
- PROVIDE ADEQUATE CLEARANCES FOR FIXTURES, DUCTS, CEILINGS AND RELATED PERTINENT ITEMS NECESSARY TO MAINTAIN SPECIFIC HEIGHTS ABOVE FINISH FLOOR.
- THE G.C. TO PROVIDE NECESSARY BLOCKING AND BRACING FOR FIXTURE INSTALLATION AND ALL ELECTRICAL COMPONENTS TO COMPLETE THE FINAL INSTALLATION OF ALL FIXTURES - COORDINATE WITH FIXTURE SUPPLIER.
- COORDINATE ANY NEW ROOF PENETRATIONS WITH LANDLORD AND LANDLORD'S ROOF CONTRACTOR.
- DIMENSIONS ARE FROM FACE OF GYP. BD. TYP. U.N.O.
- COORDINATE ADDITIONAL CEILING ACCESS DOORS W/ PROJECT MANAGER AND AS REQUESTED BY LANDLORD TO MAINTAIN ACCESS TO LANDLORD EQUIPMENT.
- ELECTRICIAN TO AIM ALL TRACK HEADS. COORDINATE WITH PROJECT MANAGER FOR DIRECTION AND ORIENTATION.
- ATTACH ALL LIGHT FIXTURES TO BUILDING STRUCTURE OR CEILING GRID. DO NOT ATTACH LIGHT FIXTURES TO CEILING TILES.

NOTE: ANY AND ALL EXISTING FIRE PROOFING ON EXISTING STRUCTURE SHALL REMAIN UNDISTURBED. PATCH, REPAIR OR REPLACE AS REQUIRED TO MAINTAIN EXISTING FIRE RATING.

CONTRACTOR IS RESPONSIBLE FOR MAKING ALL ROOF, WALL AND FLOOR PENETRATIONS WATER TIGHT.

CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL REQUIRED FIRE RATINGS AT ALL ROOF, WALL AND FLOOR PENETRATIONS.

WALL CONSTRUCTION LEGEND



WALL TYPE 'A': EXISTING EXTERIOR WALL TO REMAIN. REMOVE & REPLACE EXISTING GYPSUM BOARD AS REQUIRED TO INSTALL BLOCKING, PLUMBING AND/OR ELECTRICAL SERVICE. MAINTAIN EXISTING FIRE RATING, FIRE TAPE, CAULK, SEAL, ETC. AS REQUIRED. ON EXPOSED EXTERIOR WALL CONDITIONS. MAINTAIN ANY REQUIRED FIRE RATINGS.

WALL TYPE 'A1': EXISTING INTERIOR WALL OR 1-HOUR RATED DEMISING WALL TO REMAIN. G.C. TO PATCH, REPAIR & REPLACE EXISTING GYPSUM BOARD AS REQUIRED TO INSTALL BLOCKING, PLUMBING AND/OR ELECTRICAL SERVICE AND TO APPLY NEW FINISHES. MAINTAIN EXISTING FIRE RATING, FIRE TAPE, CAULK, SEAL, ETC. AS REQUIRED. CHECK FOR PRESENCE OF MOLD ON DRYWALL AND REPLACE AS NEEDED.

WALL TYPE 'B': NEW INTERIOR FULL HEIGHT WALL - 6" METAL STUDS @ 16" O.C. W/ (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD ON BOTH SIDES. GYPSUM BOARD TO EXTEND 6" ABOVE ACOUSTICAL CEILING.

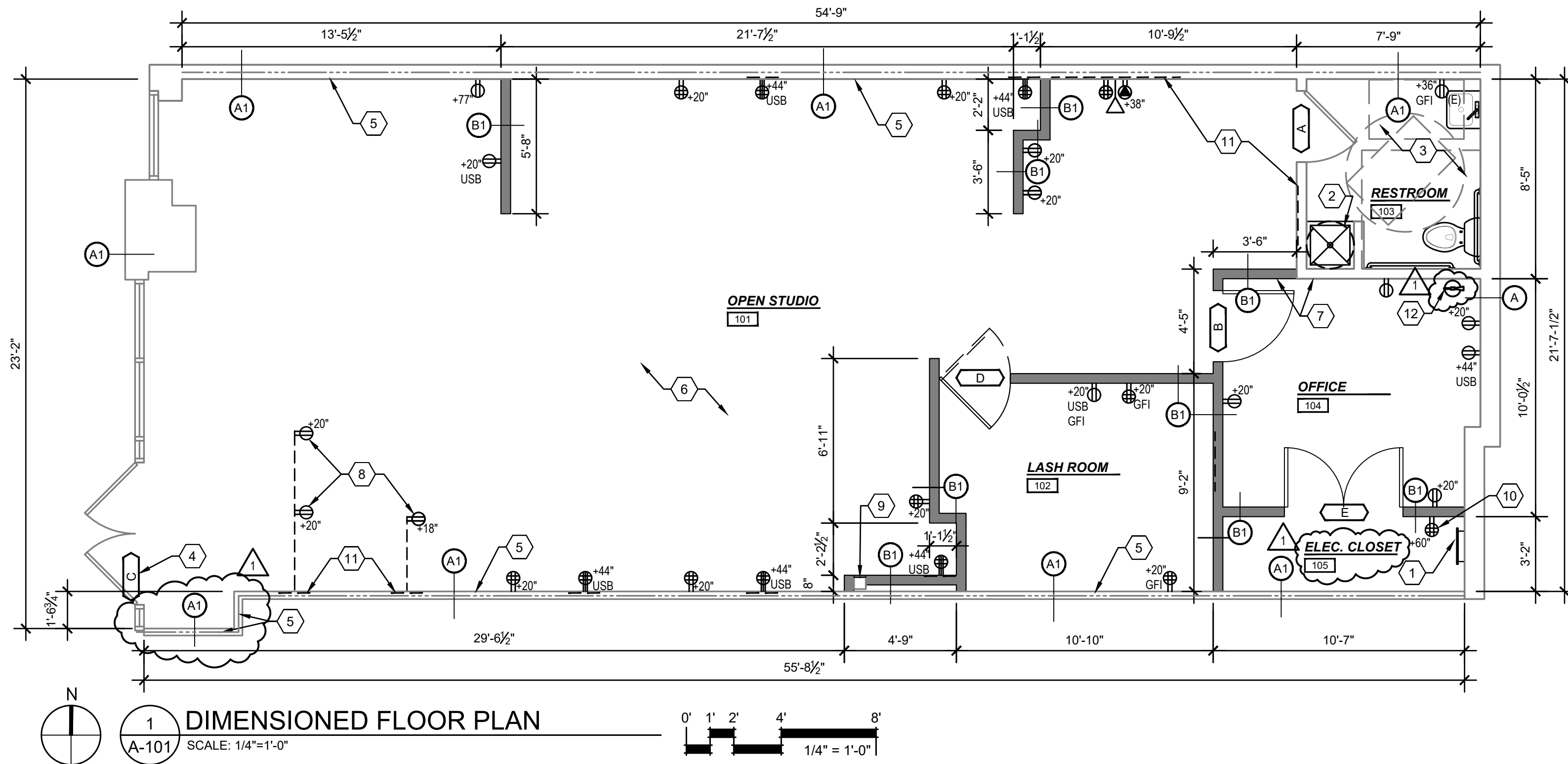
WALL TYPE 'B1': SIMILAR TO WALL TYPE "B" 3 5/8" METAL STUDS.

WOOD WALL BLOCKING IN WALL - SEE WADSWORTH PLANS FOR EXACT LOCATIONS
DUPLX OUTLET - SEE PLAN FOR HEIGHT
4-PLEX OUTLET - SEE PLAN FOR HEIGHT
3 GANG (6 OUTLETS) W/ USB - SEE PLAN FOR HEIGHT
J-BOX
GROUND FAULT INTERRUPT OUTLET
TERMINATION FOR SPEAKER WIRE
RECESSED MEDIA PLATE WITH DUPLX OUTLET
(2) INTEGRAL USB PORTS

FLOOR PLAN KEYNOTES

- NEW ELECTRICAL PANEL.
- WATER HEATER ABOVE CEILING - SEE 1/A-502 AND PLUMBING PLANS. GC TO CONFIRM WHAT EXISTING WATER HEATER IS ON SITE AND ITS LOCATION. REUSE EXISTING WATER HEATER IF POSSIBLE. IF IT MATCHES THE WATER HEATER SPECIFICATION ON P-100 AND IF IT'S IN GOOD WORKING CONDITION. OTHERWISE PROVIDE NEW.
- EXISTING ADA ACCESSIBLE RESTROOM TO REMAIN - SEE FINISH PLAN. CONFIRM EXISTING RESTROOM HAS THE FOLLOWING: UNDER SINK PIPE PROTECTION, COAT/PURSE HOOK ON BACK OF DOOR MOUNTED AT 44", 18" VERTICAL GRAB BAR, 36" AND 42" HORIZONTAL GRAB BARS, UNISEX TACTILE SIGNAGE WITH ACCESSIBLE SYMBOL.
- READILY VISIBLE DURABLE SIGN POSTED ON EGRESS SIDE ON OR ADJACENT TO DOOR STATING "THIS DOOR TO REMAIN UNLOCKED WHEN SUITE IS OCCUPIED" THE SIGN SHALL BE IN LETTERS 1" (25.4mm) HIGH ON CONTRASTING BACKGROUND.
- EXISTING TENANT DEMISING WALL TO REMAIN AS-IS. EC TO PROVIDE RATED OUTLET AND JUNCTION BOXES IN ALL RATED WALLS. GC TO CONFIRM DEMISING WALL IS 1-HOUR RATED BY REVIEWING CONSTRUCTION TO MAKE SURE DRYWALL GOES TO THE UNDERSIDE OF THE ROOF DECK.
- ANY EXISTING ELECTRICAL OUTLETS TO REMAIN (NOT SHOWN ON PLAN). REPLACE OUTLETS AND FACEPLATES AS REQUIRED TO MATCH COLOR OF NEW DEVICES AND FACEPLATES. IF EXISTING OUTLET OCCURS WHERE NEW OUTLET IS SCHEDULED, USE NEW OUTLET SPECIFICATION AND LOCATION - CONFIRM WITH PM.
- WALLS TO ALIGN

- STUB FLEX CONDUIT WITH POWER FROM WALL. CONDUIT WILL RUN THROUGH WALL TO A JUNCTION BOX.
- EXISTING COLUMN - COLUMN TO BE HIDDEN BEHIND NEW WALL FOR FLUSH INSTALLATION OF WADSWORTH MIRROR.
- PROVIDE 24" x 48" x 3/4" PLYWOOD TMB. PAINT TO MATCH SURROUNDING WALL. TMB FOR PHONE DEMARK, SECURITY ALARM PANEL, LOW-VOLTAGE EQUIPMENT ETC. GC TO PROVIDE POWER AS REQUIRED FOR OWNER PROVIDED EQUIPMENT. CONFIRM LOCATION WITH OWNER.
- PROVIDE WOOD BLOCKING IN WALL FOR OWNER PROVIDED FURNITURE - SEE WADSWORTH DESIGN DRAWINGS FOR EXACT SIZE AND LOCATION OF BLOCKING.
- FIRE EXTINGUISHER - 2A-10BC TO REMAIN



SYMBOLS LEGEND REFER TO ELEC. DWG. FOR LIGHTING SPEC

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	SINGLE LAMP ADJUSTABLE DOWNLIGHT		2X4 LED TROFFER
	DOUBLE LAMP ADJUSTABLE DOWNLIGHT		2X2 LED TROFFER
	RECEPTION PENDANT LIGHT - BOTTOM OF FIXTURE AT 7'-6"		EXIT SIGN / COMBINATION EXIT/EMER. LIGHT W/ BATTER PACK
	CHANDELIER		EMERGENCY LIGHT
	RESTROOM PENDANT LIGHT - BOTTOM OF FIXTURE AT 6'-8"		EXHAUST FAN
	ONE LAMP DOWNLIGHT		RETURN AIR GRILLE
	QUAD SPEAKER		SUPPLY AIR DIFFUSER

E - EXISTING TO REMAIN
R - RELOCATE
D - DEMOLISH
N - NEW

CEILING TYPE KEY

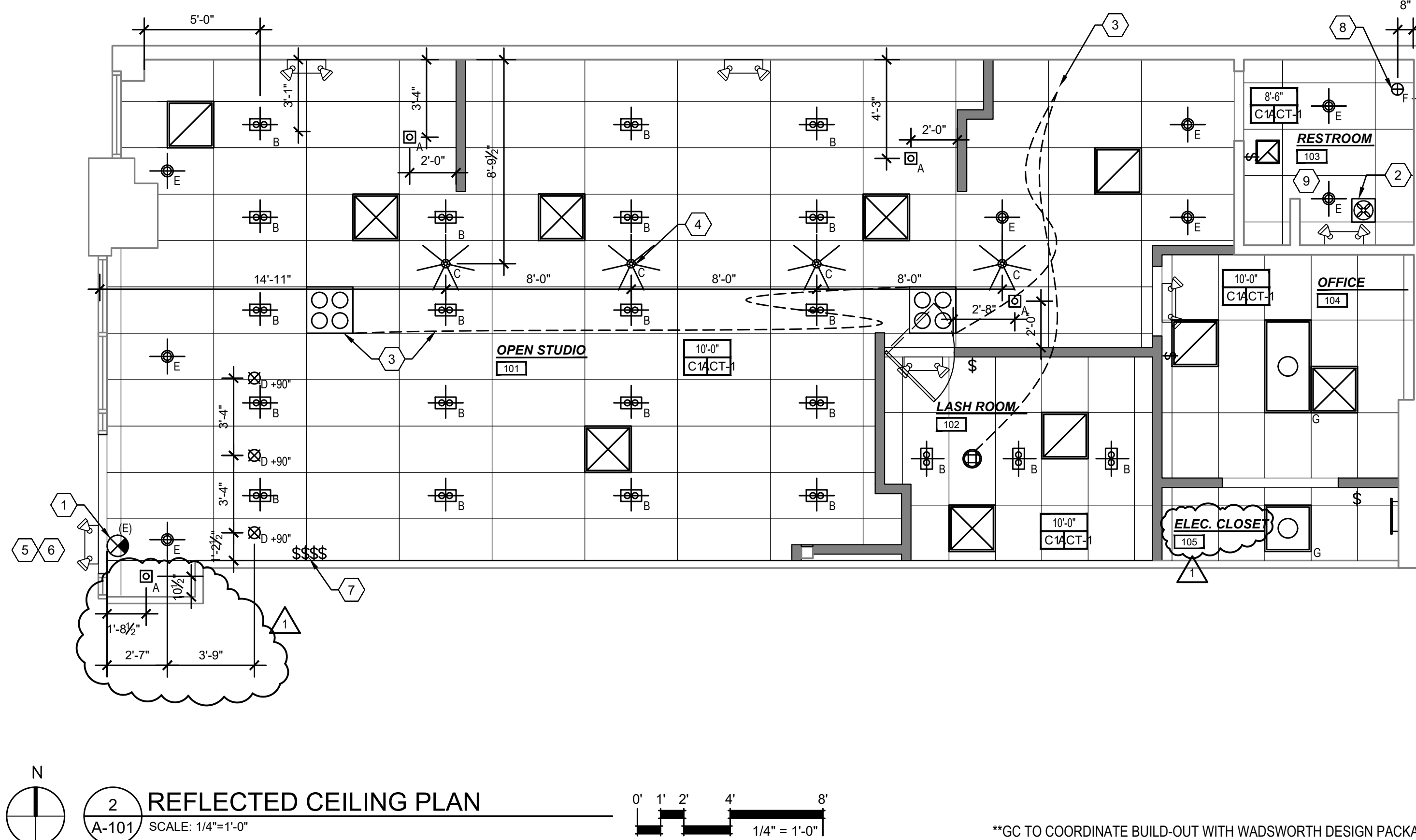
TYPE	CEILING	MATERIAL
C1		2' X 4' ACOUSTICAL LAY-IN CEILING
C2		PAINTED GYPSUM BOARD

REFER TO FINISH SCHEDULE FOR ADDITIONAL INFORMATION

CEILING HEIGHT
CEILING FINISH (REFER TO FINISH SCHEDULE)
CEILING TYPE (REFER TO SCHEDULE ABOVE)

CEILING PLAN KEYNOTES

- EXISTING EMERGENCY LIGHTS AND EXIT SIGNS TO REMAIN. GC TO CONFIRM EXISTING EMERGENCY LIGHTS AND EXIT SIGNS ARE TO CODE. REPORT ANY DISCREPANCIES TO PM.
- EXISTING EXHAUST FAN TO REMAIN. GC TO CONFIRM FAN IS TO CODE. REPORT ANY DISCREPANCIES TO PM.
- CEILING SPEAKER - TENANT PROVIDED, GC INSTALLED. GC TO PROVIDE WIRING FROM SPEAKER BACK TO AUDIO SOURCE - SEE SPEAKER SPECIFICATIONS.
- CHANDELIER - SEE DETAIL 6/A-502 FOR MOUNTING.
- EXISTING EXTERIOR LIGHTING TO REMAIN. GC TO CONFIRM EXISTING EXTERIOR LIGHTING IS TO CODE. REPORT ANY DISCREPANCIES TO PM.
- EXTERIOR SIGN JUNCTION BOX TO BE BROUGHT WITHIN 5 FEET OF THE PROPOSED STOREFRONT SIGN LOCATION.
- LOCATE WALL SWITCHES WHERE NOTED TO AVOID WALL MOUNTED FIXTURES AND POSTERS. VERIFY EXACT LOCATIONS OF WALL MOUNTED FIXTURES AND POSTERS WITH WADSWORTH DESIGN DRAWINGS. CONFIRM FINAL LOCATION.
- CENTER PENDANT ABOVE SINK.
- GC TO PROVIDE LINE ITEM COST TO KEEP EXISTING DRYWALL CEILING AND ADD NEW LIGHTS AS SHOWN.



GC TO COORDINATE BUILD-OUT WITH WADSWORTH DESIGN PACKAGE. ANY DISCREPANCIES TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE PM

Proj. Mgr.
KB
Job. Capt.
RB
Drawn by
KB
Rev'd by
RB

State of Colorado
RONALD BARR
002305
LICENSED ARCHITECT

Digitally signed by Ronald Barr
Date: 2023.01.24 09:14:50 -0500

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Revisions	BUILDING COMMENTS
1	01.23.23

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5746 S WADSWORTH BLVD, SUITE #3100
LITTLETON, CO 80123

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BARR ARCHITECTURE, INC.
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architects • general contractors

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architecture • construction management • planning • interiors

Sheet Title:
**FLOOR PLAN
AND RCP**

Scale:
NOTED

Date:
10.28.22

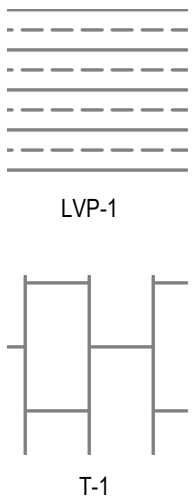
Project No.
22-2408

Sheet No.
A-101

GENERAL SHEET NOTES

1. **XX XX** INDICATES TYPICAL FINISHES WITHIN ROOM U.N.O.
2. ALL FLOOR COVERING MATERIALS TO BE INSTALLED PER MANUFACTURER'S STANDARD DETAILS AND SPECIFICATIONS. VERIFY W/ MANUFACTURER PRIOR TO INSTALLATION.
3. ALL MATERIAL TRANSITIONS AT DOOR THRESHOLDS TO TAKE PLACE AT DOOR CENTERLINE U.N.O.
4. ALL DIMENSIONS ARE TO CENTERLINE OF TRANSITION BETWEEN FLOORING MATERIALS OR FINISH COLOR OF SAME MATERIAL. PLANS DO NOT SHOW ALL TILES OF SAME MATERIALS.
5. DOORS MUST REMAIN OPEN DURING ALL HOURS OF MALL OPERATIONS.
6. ALL FINISHES SHALL COMPLY w/ CLASS 'C' FLAME SPREAD REQUIREMENTS PER IFC SECTION 803, TABLE 803.5
7. SEE THIS SHEET FOR FINISH SCHEDULE.
8. PRIOR TO INSTALLATION OF ALL FLOORING, GC TO TEST MOISTURE CONTENT OF SLAB AND ENSURE WITHIN MANUFACTURER'S SPECIFIED ALLOWANCE.
9. GC TO PROVIDE PROTECTION FOR ALL FLOORING AFTER INSTALLATION TO PREVENT ANY DAMAGE.
10. GC TO PROVIDE A LEVEL FLOOR OR LANDING ON EACH SIDE OF A DOOR NOT MORE THAN 1/2" LOWER THAN THE THRESHOLD OF THE DOORWAY.
11. CONCRETE POURBACK MUST MATCH LANDLORD'S SPECS OR MATCH EXISTING IN FIELD, WHICHEVER IS MORE STRINGENT. GC TO NOTIFY LANDLORD REPRESENTATIVE MINIMUM 48 HOURS PRIOR TO POURBACK FOR VISUAL INSPECTION.
12. REFER TO 5/A-502 FOR TYPICAL SAWCUT/POURBACK DETAIL.
13. ALL FLOOR AND WALL PENETRATIONS ARE TO BE SEALED PER APPLICABLE CODES.
14. SHEET VINYL AND VINYL PLANK CLEAN PER MANUFACTURER'S GUIDELINES PRIOR TO INSTALL.
15. DRYWALL TO BE LEVEL 4 SMOOTH
16. SEE SHEET A-601 FOR ARCHITECTURAL SPECIFICATIONS
17. COORDINATE WITH WADSWORTH DESIGN DRAWINGS FOR ALL WALL AREAS REQUIRED TO BE CLEAR OF OBSTACLES

FINISH SCHEDULE



LVP FLOORING
STYLE: LVP-1 NEWBORN (LIGHT) 6x36 OR LVP-2 PEPPERCORN (DARK) 6x48 - OWNERS CHOICE
CONTACT: ALL LVP FLOORING, WALL BASE AND ADHESIVE TO BE ORDERED BY THE GC THROUGH DEKA LASH'S NATIONAL CONTRACT: ALBERT SHULTZ ALBERT.SHULTZ@TARKETT.COM 1-831-461-5704
NOTE: LINES DIRECTION DENOTES PLANK ORIENTATION

TILE FLOORING - OWNERS CHOICE
OPTION 1: MPI FOCUS GLACIER 12X24 PORCELAIN TILE NFOGGLA1224-N; GROUT: MAPEI 01 ALABASTER
OPTION 2: MARAZZI STONEHOLLOW MIST 12X24 PORCELAIN TILE SH201224HD1P6; GROUT: MAPEI 107 IRON
NOTE: MATCHING 48" TILE WAINGSCOT ON ALL WALLS OF RESTROOM - SEE WADSWORTH DESIGN DRAWINGS

PAINT: PT-1 (WHITE)
MANUFACTURER: SHERWIN WILLIAMS
COLOR: SW 7006 EXTRA WHITE
FINISH: EGGSHELL (SEMI-GLASS AT DOORS, FLAT AT CEILING)
LOCATION: ALL WALLS THROUGHOUT TENANT SPACE, U.N.O

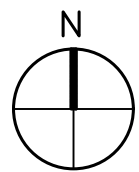
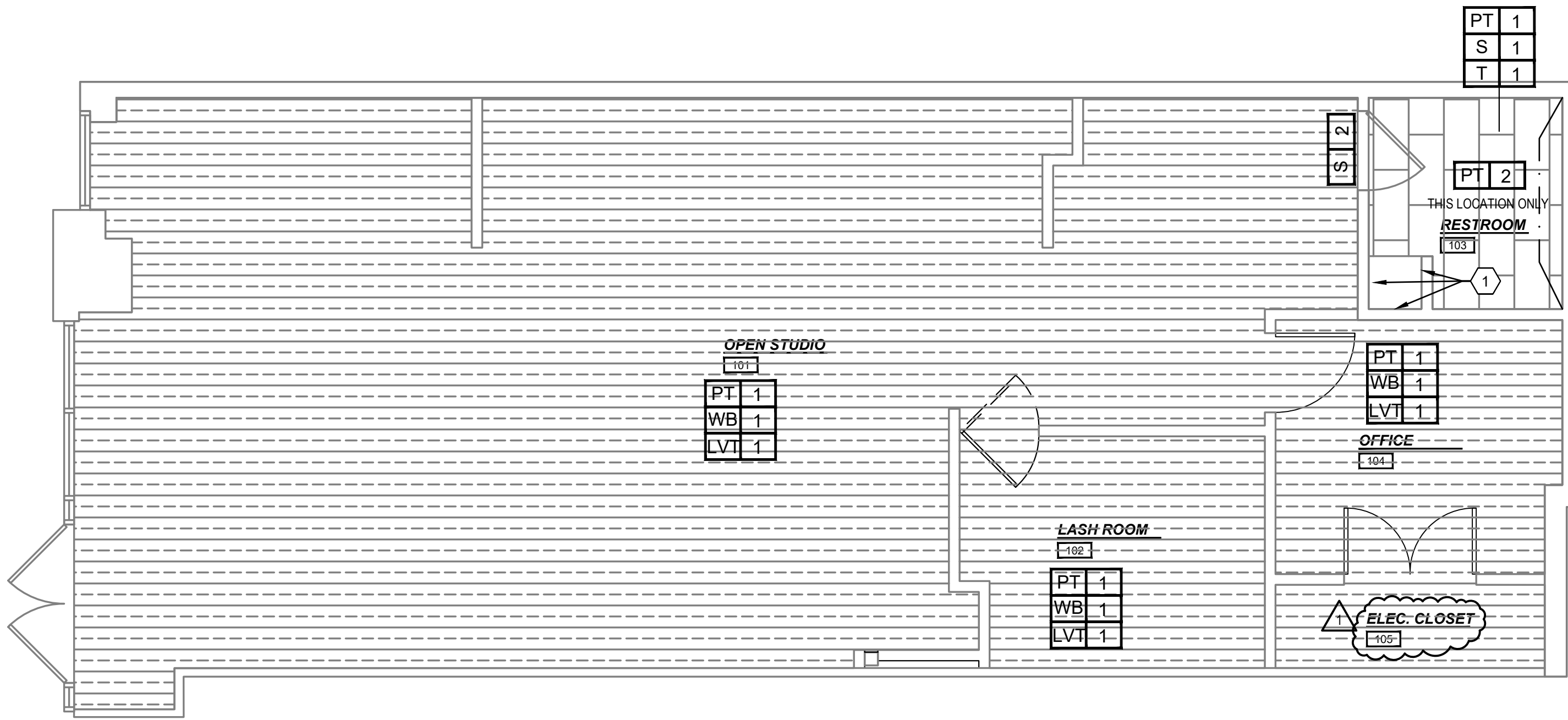
PAINT: PT-2 (GREY)
MANUFACTURER: SHERWIN WILLIAMS
COLOR: SW 7660 EARL GREY
FINISH: EGGSHELL
LOCATION: RESTROOM WALL ONLY - SEE FINISH PLAN FOR LOCATION

WALL BASE
MANUFACTURER: JOHNSONITE - AVAILABLE FROM TARKETT
STYLE: REVEAL 4-1/4" RUBBER BASE
COLOR: 08 ICICLE
LOCATION: THROUGHOUT TENANT SPACE AT LVP - SEE LVP SPEC ABOVE FOR ORDERING INFO

SCHLUTER STRIP
MANUFACTURER: SCHLUTER (AVAILABLE AT HOME DEPOT)
STYLE: L ANGLE PROFILE - A100
FINISH: ALUMINUM
LOCATION: USED AT TOP OF TILE BASE - SEE WADSWORTH DESIGN DRAWINGS

SCHLUTER TRANSITION
MANUFACTURER: SCHLUTER (AVAILABLE AT HOME DEPOT)
STYLE: RENO-U PROFILE AEU100
FINISH: ALUMINUM
LOCATION: USED AT TRANSITION BETWEEN TILE AND LVT

USG OLYMPIA MICRO #4411 LAY-IN PANELS 2' X 4' X 5/8"
WHITE WITH 'A' PROFILE GRID.



1 FINISH PLAN
SCALE: 1/4"=1'-0"

0' 1' 2' 4' 8'
1/4" = 1'-0"

ALL FINISHES SHALL BE REVIEWED AND APPROVED BY OWNER PRIOR TO ORDERING, PROCURING AND INSTALLING MATERIALS. GC IS RESPONSIBLE FOR COORDINATION OF ALL FINISH MATERIALS AND INSTALLATION METHODS.

FINISH PLAN KEYNOTES

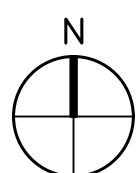
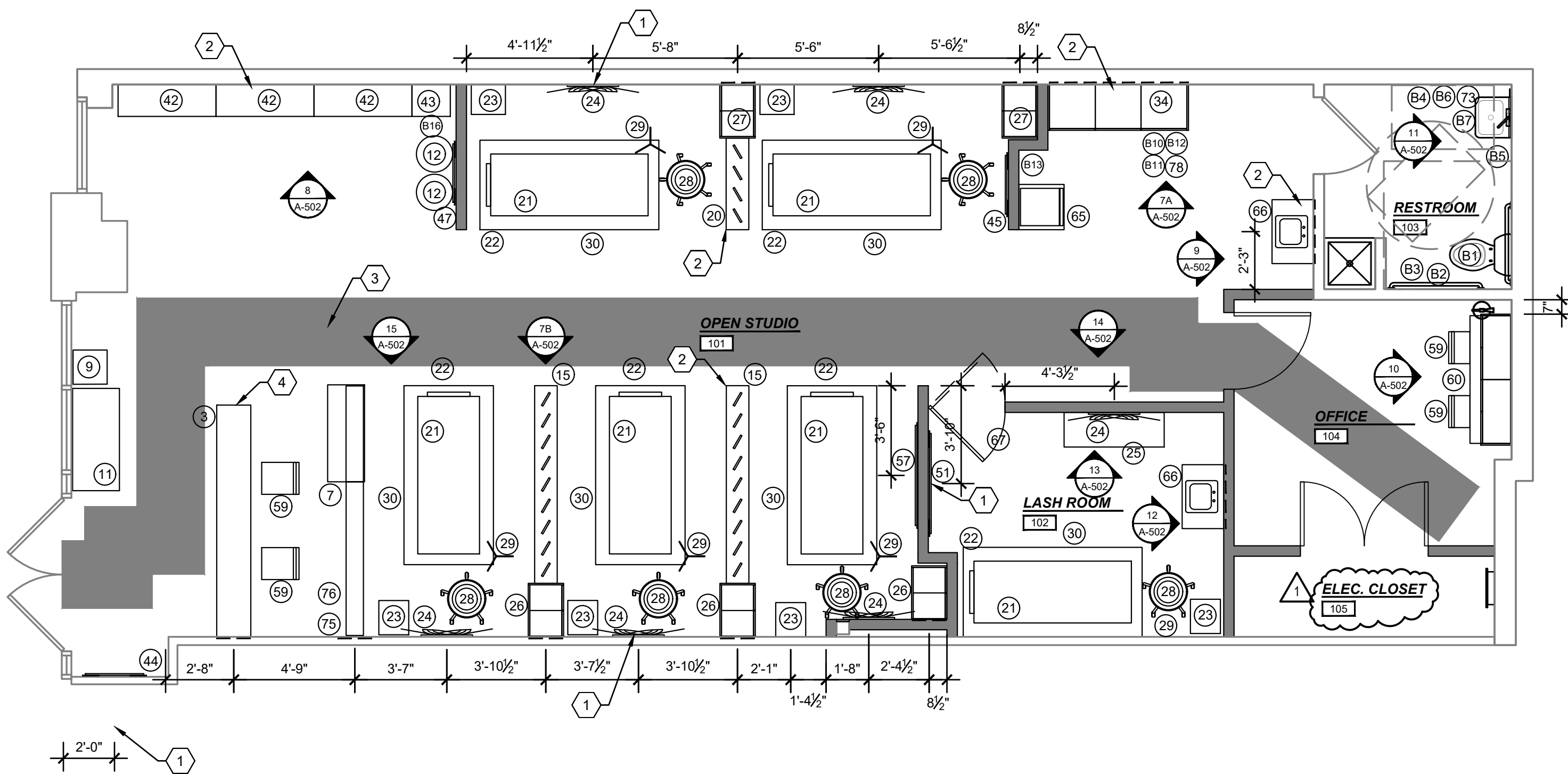
1. EXISTING FRP PANEL AT THREE SIDES OF MOP SINK UP TO 48" AFF TO REMAIN. REPLACE AS REQUIRED

FURNITURE SCHEDULE

ITEMS BY WADSWORTH	
3 CHECK IN BAR - 109"	57 DEKA LASH FRAME B7
7 RECEPTION WALL WITH CABINETS - RIGHT 118"	58 STOOL
9 END TABLE	60 BREAKROOM CAB AND COUNTER
11 BENCH	66 BEVERAGE COUNTER WITH FRIDGE
12 SEATING POD	66 HAND WASH COUNTER - 30"
15 DIVIDER WALL - RIGHT 93"	67 GLASS DOOR - RIGHT
20 DIVIDER WALL - LEFT 43"	70 MICROBLADING ACCENT WALL - LEFT
21 STATION BED	72 SIGN - "PRIVATE LASH ROOM"
22 BLANKET CUBBY	73 RESTROOM MIRROR
23 STATION CART	75 FRAGRANCE
24 MIRROR	76 SCENT MACHINE
25 STATION CABINET	78 SOUND SYSTEM
26 DIVIDER CABINET 2 - RIGHT	ITEMS BY OTHERS
27 DIVIDER CABINET 2 - LEFT	81 TOILET
28 STATION WORK STOOL	82 GRAB BARS
29 STATION WORK LIGHT	83 TOILET TISSUE DISPENSER
30 STATION RUG	84 PAPER TOWEL DISPENSER
34 STORAGE CABINET - SET OF 3	85 SOAP DISPENSER
42 RETAIL DISPLAY LIGHTED	86 LAVATORY
43 RETAIL DISPLAY TV CABINET	87 LAVATORY FAUCET
44 DEKA LASH FRAME A1	89 SECURITY SYSTEM
45 DEKA LASH FRAME A2	91 MEDIA PLAYER
47 DEKA LASH FRAME A4	91a ROUTER
51 DEKA LASH FRAME B1	91b HUMIDIFIER/DEHUMIDIFIER
	91c RETAIL DIGITAL DISPLAY

FURNITURE PLAN KEYNOTES

1. ALL WALL MOUNTED ITEMS TO BE INSTALLED PER WADSWORTH DESIGN PACKAGE. GC TO CAREFULLY FOLLOW ALL INSTALLATION INSTRUCTIONS CLOSELY, INCLUDING EXACT LOCATIONS OF EACH ITEM AND ALL REQUIRED CLEATS FOR WALL MOUNTED ITEMS, TYP. ANY DISCREPANCIES TO BE BROUGHT TO THE PM. WALL AREAS TO BE CLEAR OF ANY AND ALL OBSTRUCTIONS
2. ALL FIXED FURNITURE ITEMS TO BE INSTALLED PER WADSWORTH DESIGN PACKAGE. GC TO CAREFULLY FOLLOW ALL INSTALLATION INSTRUCTIONS CLOSELY INCLUDING EXACT LOCATIONS AND ATTACHMENT METHODS, TYP. ANY DISCREPANCIES TO BE BROUGHT TO THE PM
3. 36" WIDE ACCESSIBLE PATH OF TRAVEL - TRAVEL DISTANCE FROM REAR TO FRONT DOOR: 68'-10"
4. ADA ACCESSIBLE CHECK-IN DESK - MAX HEIGHT TO BE 34" AFF MAX

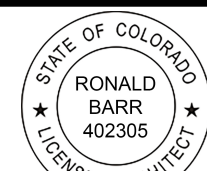


2 FURNITURE/EGRESS PLAN
SCALE: 1/4"=1'-0"

0' 1' 2' 4' 8'
1/4" = 1'-0"

GC TO COORDINATE BUILD-OUT WITH WADSWORTH DESIGN PACKAGE. ANY DISCREPANCIES TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE PM

Proj. Mgr.
KB
Job. Capt.
RB
Drawn by
KB
Rev'd by
RB



Digitally signed by
Ronald Barr
Date: 2023.01.24
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BUILDING COMMENTS 01.23.23

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REVISION: 01/13/2023 E-402.21

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architecture • construction management • planning • interiors

Sheet Title:

FINISH PLAN & FURNITURE PLAN

Scale:

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Date:

10.28.22

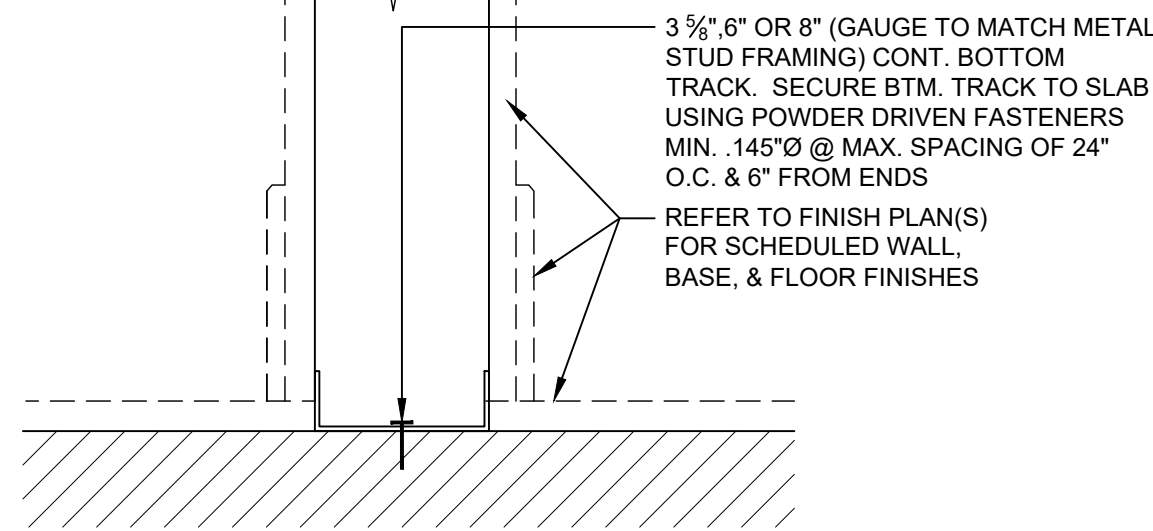
Project No.

22-2408

Sheet No.

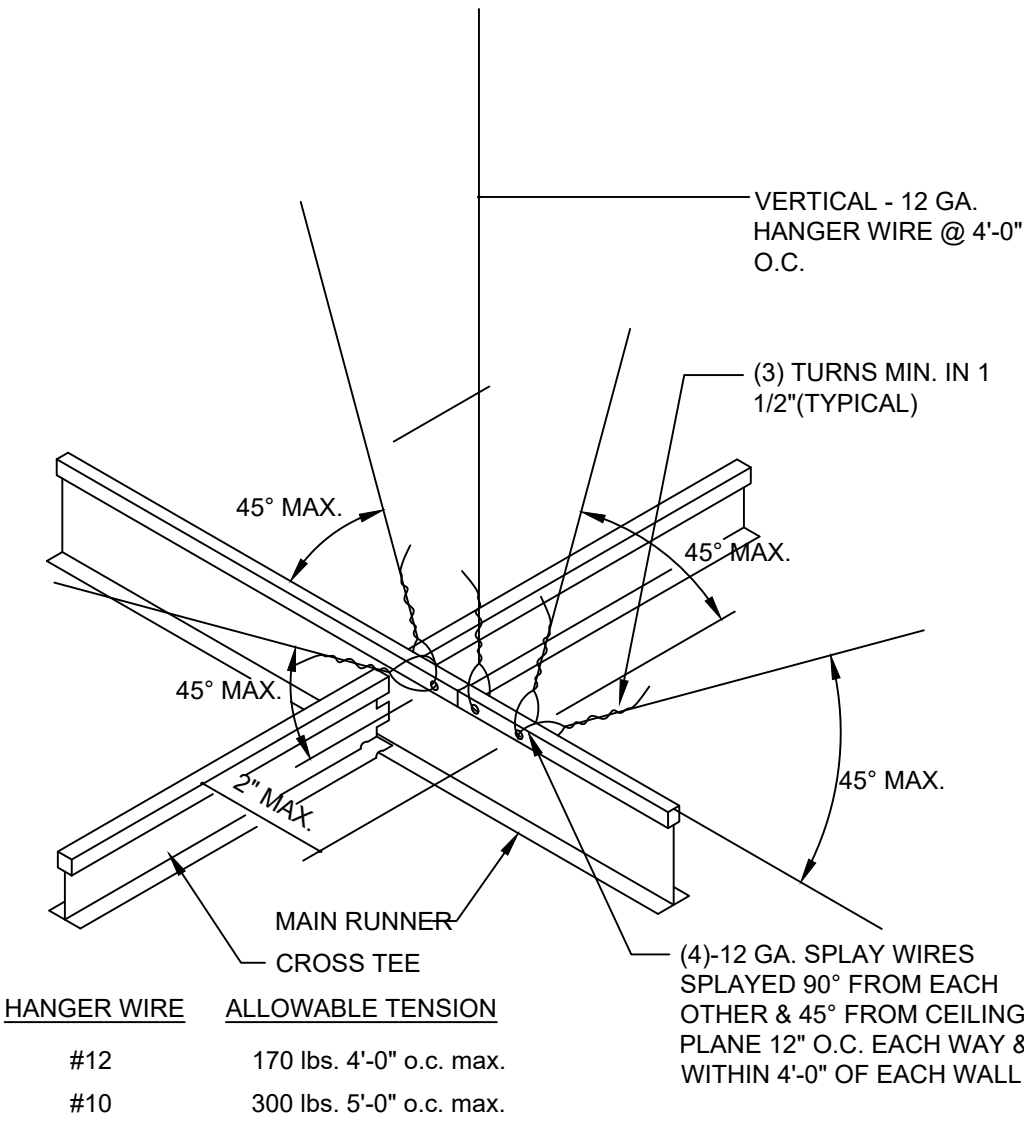
A-111

POWDER DRIVEN FASTENERS - ICC #ESR-1663



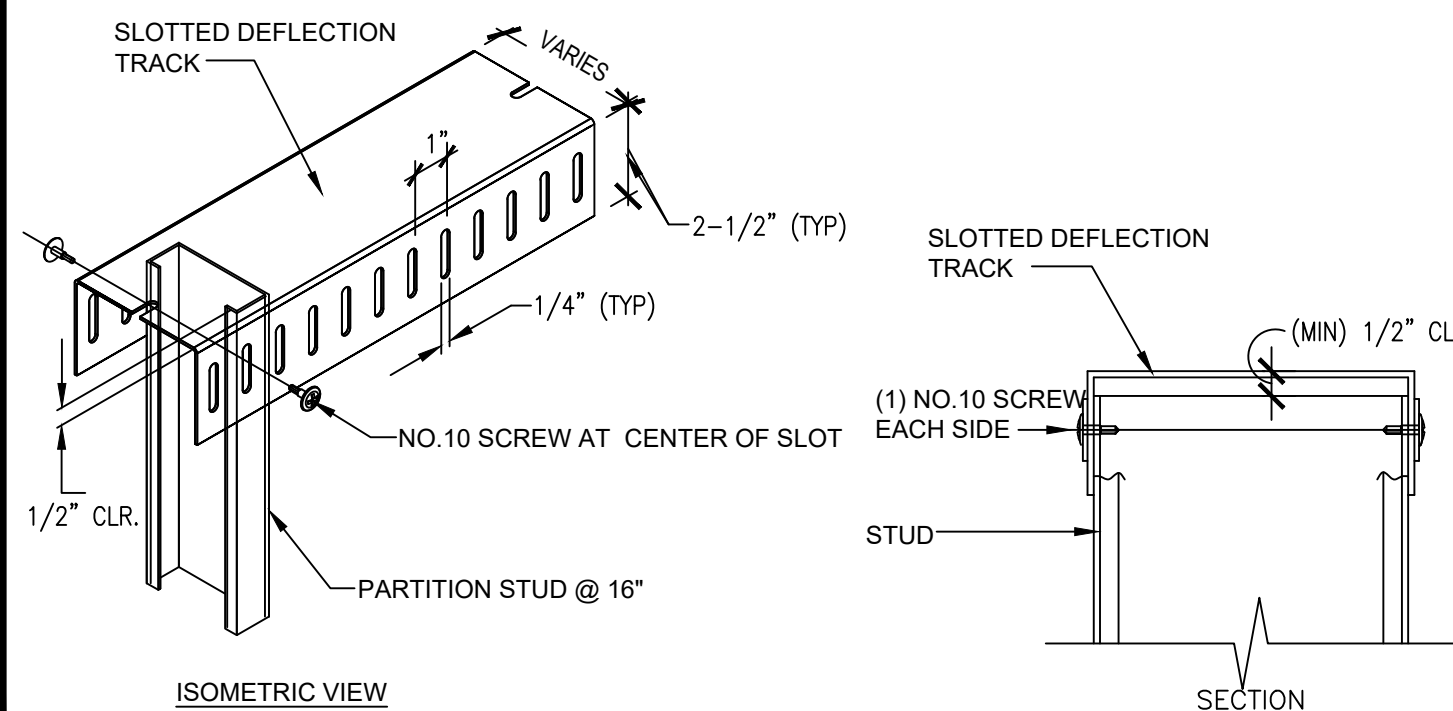
4 TYPICAL CONNECTION DETAIL AT FLOOR
A-501 SCALE: 3"=1'-0"

NOTE:
STRUT & BRACING WIRE NO MORE THAN 2" FROM CROSS TEE INTERSECTION.



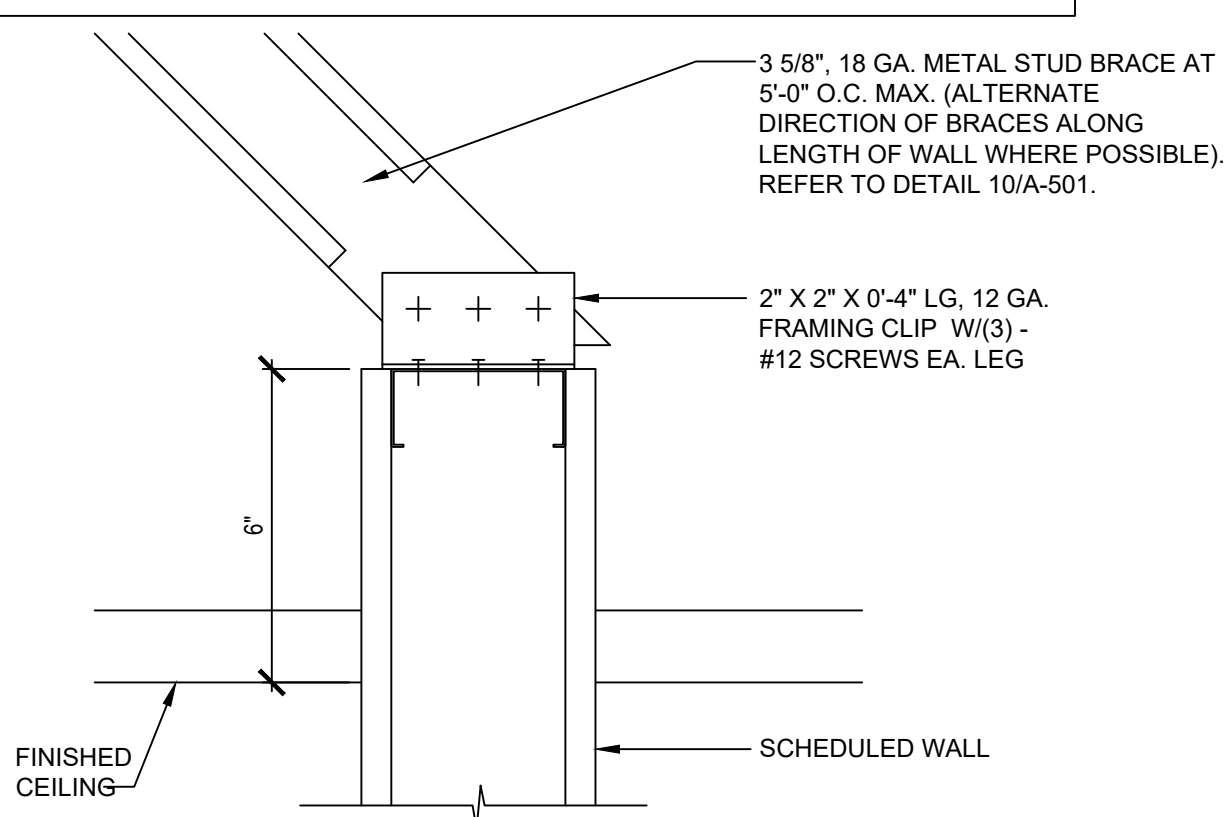
9 ACT CEILING DETAIL
A-501 N.T.S.

NOTES:
NESTED TRACKS (20 GA. MINIMUM) OR SLOTTED TRACK (20 GAGE MINIMUM) TO ALLOW 1/2" DEFLECTION.
STUDS CUT 1/2" SHORT TO ALLOW FOR 1/2" DEFLECTION
FINISH MATERIALS (WHERE OCCUR) HELD 1/2" SHORT OF TOP OF TRACK TO ALLOW FOR 1/2" DEFLECTION. DO NOT SCREW FINISH MATERIALS INTO TOP TRACK - FASTEN INTO STUDS ONLY.
APPLY OR PATCH FIREPROOFING (WHERE INDICATED) AFTER INSTALLATION OF TRACK OR STRAPS
ACOUSTICAL SEALANT IN 1/2" DEFLECTION GAP AT PARTITIONS WITH ACOUSTICAL INSULATION
HILTI FASTENERS OR APPROVED EQUAL



14 ATTACHMENT DETAIL
A-501 SCALE: 3"=1'-0"

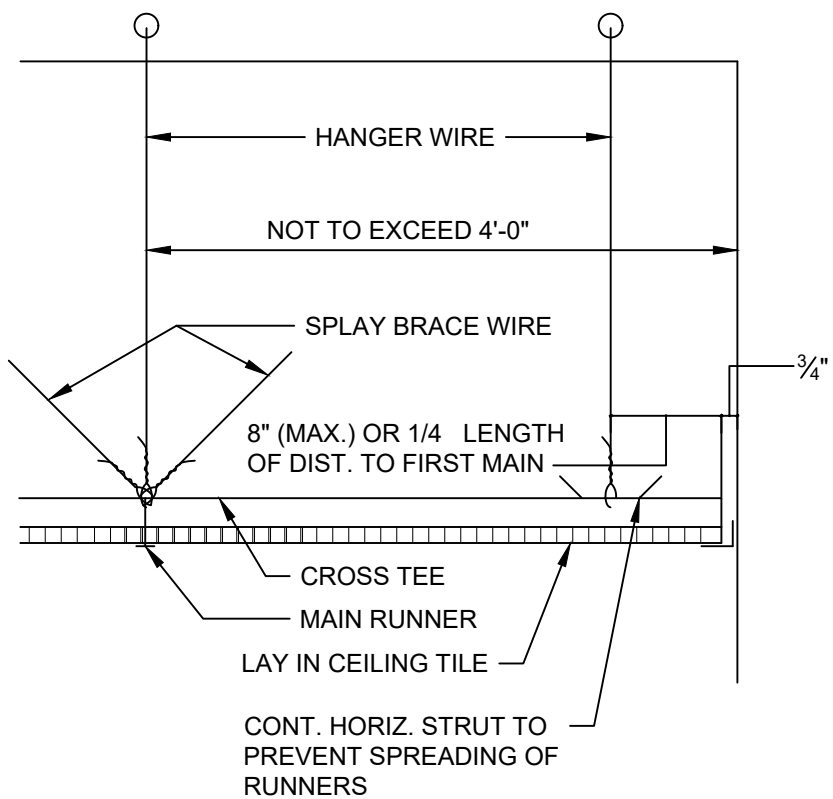
LANDLORD NOTE (TYPICAL):
TENANT SHALL NOT DRILL, SCREW, WELD, OR SHOOT INTO LANDLORD'S STRUCTURE OR STRUCTURAL MEMBERS. ALL ATTACHMENTS SHALL BE MADE WITH BEAM CLAMPS, CLIP OR BOLTS AND WASHERS. NOTHING IS PERMITTED TO BE ATTACHED TO, SUSPENDED FROM, OR PENETRATE THE ROOF DECK. JOISTS, BEAMS, TRUSSES AND GIRDERS MAY BE USED FOR LATERAL BRACING AND SPANNING SUPPORT. DO NOT SUPPORT ANY CONSTRUCTION FROM LANDLORD'S CROSS BRACING OR BRIDGING.



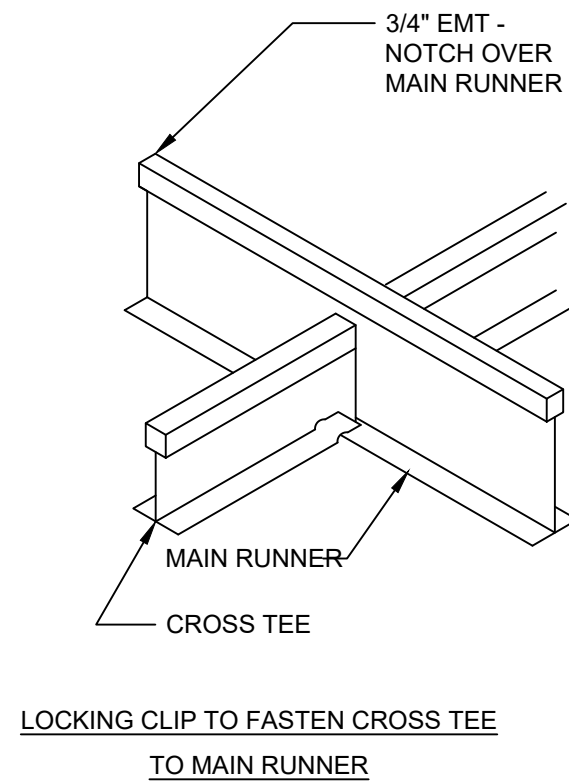
3 WALL BRACING DETAIL
A-501 SCALE: 3"=1'-0"

PERFORMANCE REQUIREMENTS:
THE MAIN RUNNERS AND CROSS RUNNERS OF THE CEILING SYSTEM AND THEIR SPLICES, INTERSECTION CONNECTORS AND EXPANSION DEVICES SHALL BE DESIGNED AND CONSTRUCTED TO CARRY A MEAN ULTIMATE TEST LOAD OF NOT LESS THAN 180 POUNDS (801 N) OR TWICE THE ACTUAL LOAD, WHICHEVER IS GREATER, IN TENSION WITH 5-DEGREE MISALIGNMENT OF THE MEMBERS IN ANY DIRECTION, AND IN COMPRESSION. IN LIEU OF 5-DEGREE MISALIGNMENT, THE LOAD MAY BE APPLIED WITH A 1-INCH (25.4MM) ECCENTRICITY ON A SAMPLE NOT MORE THAN 24 INCHES (610 MM) LONG ON EACH SIDE OF THE SPLICE. THE CONNECTIONS AT SPLICES AND INTERSECTIONS SHALL ALL BE OF THE MECHANICAL INTERLOCKING TYPE.

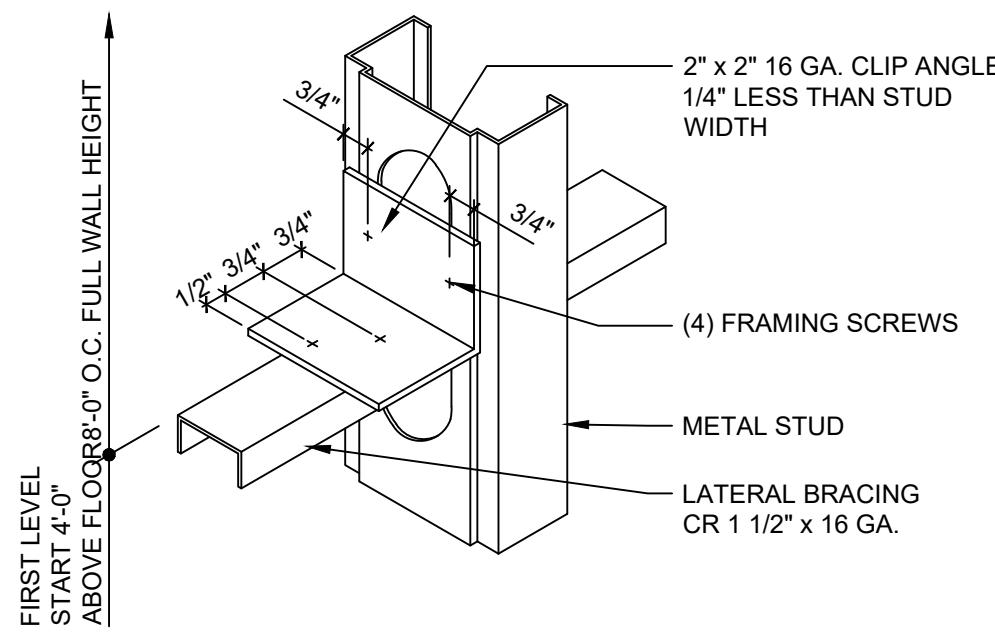
NOTE: L/R RATIO NOT EXCEED 200



SUSPENDED CEILING DETAIL @ WALL



LOCKING CLIP TO FASTEN CROSS TEE TO MAIN RUNNER

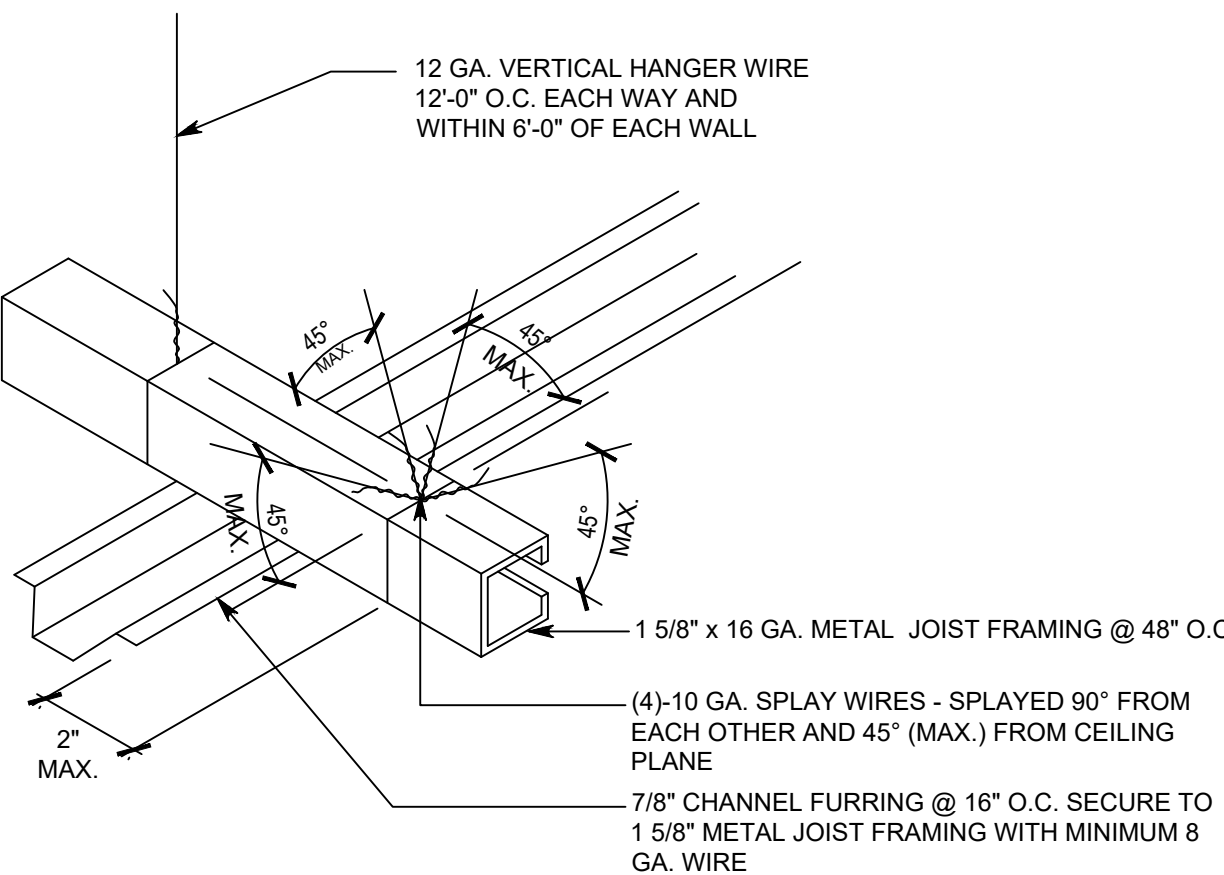


2 LATERAL BRACING SUPPORT
A-501 N.T.S.

PERFORMANCE REQUIREMENTS: THE MAIN RUNNERS AND CROSS RUNNERS OF THE CEILING SYSTEM AND THEIR SPLICES, INTERSECTION CONNECTORS AND EXPANSION DEVICES SHALL BE DESIGNED AND CONSTRUCTED TO CARRY A MEAN ULTIMATE TEST LOAD OF NOT LESS THAN 180 POUNDS (801 N) OR TWICE THE ACTUAL LOAD, WHICHEVER IS GREATER, IN TENSION WITH 5-DEGREE MISALIGNMENT OF THE MEMBERS IN ANY DIRECTION, AND IN COMPRESSION. IN LIEU OF 5-DEGREE MISALIGNMENT, THE LOAD MAY BE APPLIED WITH A 1-INCH (25.4MM) ECCENTRICITY ON A SAMPLE NOT MORE THAN 24 INCHES (610 MM) LONG ON EACH SIDE OF THE SPLICE. THE CONNECTIONS AT SPLICES AND INTERSECTIONS SHALL ALL BE OF THE MECHANICAL INTERLOCKING TYPE.

NOTE:
• FASTEN TO STRUCTURE ABOVE TO COMPLY WITH LANDLORD AND/ OR LOCAL BUILDING DEPARTMENT JURISDICTION.
• CONFORM TO BASIC MINIMUM REQUIREMENTS ESTABLISHED IN ASTM C636.

SECURE SUPPORT WIRES TO EXISTING STRUCTURE OR STUD INFILL.

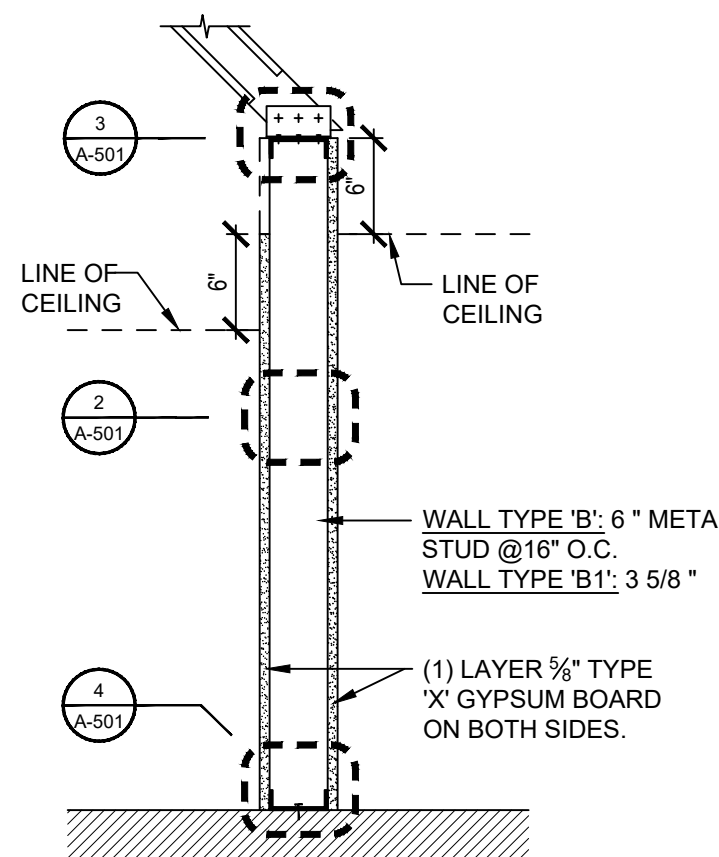


NOTE: L/R = RATIO NOT EXCEED 200

8 GYPSUM BOARD CEILING DETAIL
A-501 N.T.S.

GENERAL WALL TYPE NOTES

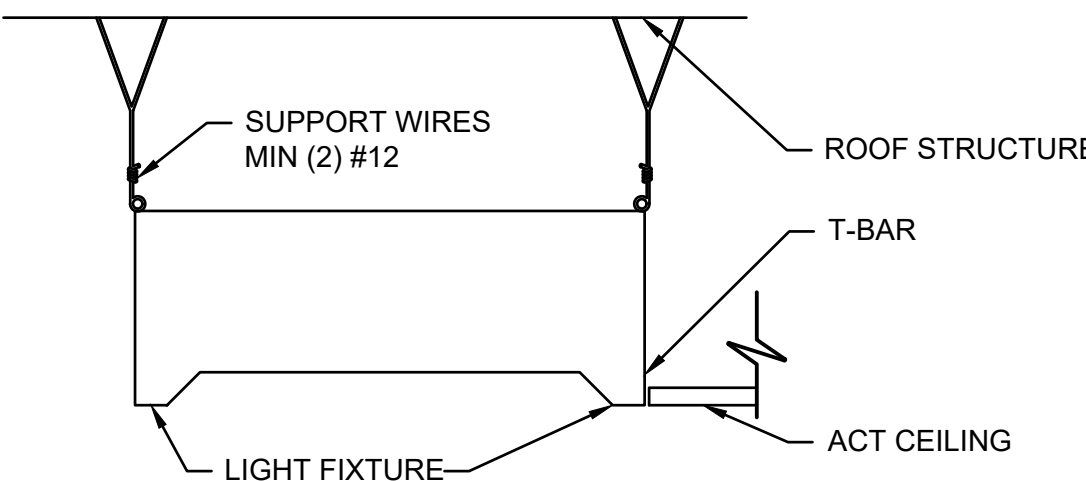
- USE WATER RESISTANT GYPSUM BOARD AT ALL WET LOCATIONS.
- SOUND BATT INSULATION WITH AN STC OF 42 OR BETTER TO BE INSTALLED IN ALL NEW DEMISING WALLS AND RESTROOM WALL AND AS INDICATED PER WALL TYPE. INSULATION TO BE INSTALLED IN WALLS AND ABOVE CEILING. INSTALL INSULATION TO FULL HEIGHT AND ABOVE CEILING (2 FEET ON EACH SIDE).
- REFER TO METAL STUD SCHEDULE ON THIS SHEET FOR GAUGE SIZES UNLESS NOTED OTHERWISE.
- WALLS OVER 12'-0" TO BE Laterally BRACED VERTICAL WITH 1 1/2", 16 GA COLD ROLLED CHANNEL CLIP ANCHORED TO METAL STUDS. SEE 2/A-501.
- ANY EXISTING FIRE RATINGS TO BE MAINTAINED AS REQUIRED.



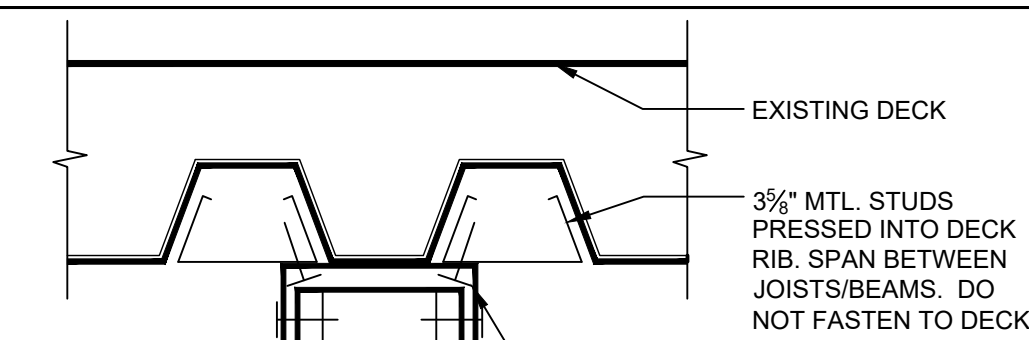
WALL TYPE 'B' AND 'B1'

1 WALL TYPE 'B' AND 'B1'
A-501 SCALE: 1"=1'-0"

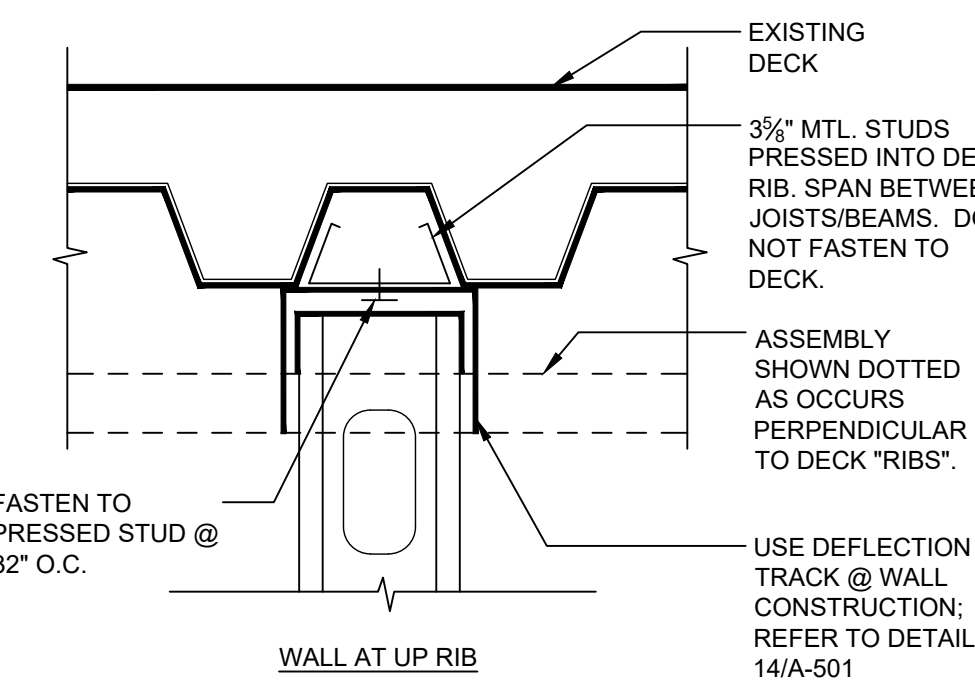
CONTRACTOR SHALL VERIFY AND CONFIRM THE FIXTURES AND CHANDELIER LOCATIONS WITH THE OWNER PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONSTRUCT WIRE CEILING GRID SUPPORTS AT ALL FOUR CORNERS OF GRID AT JBOX LOCATION. CHANDELIER WEIGHT NOT TO EXCEED 10 LBS.



7 LIGHT FIXTURE SUPPORT
A-501 N.T.S.

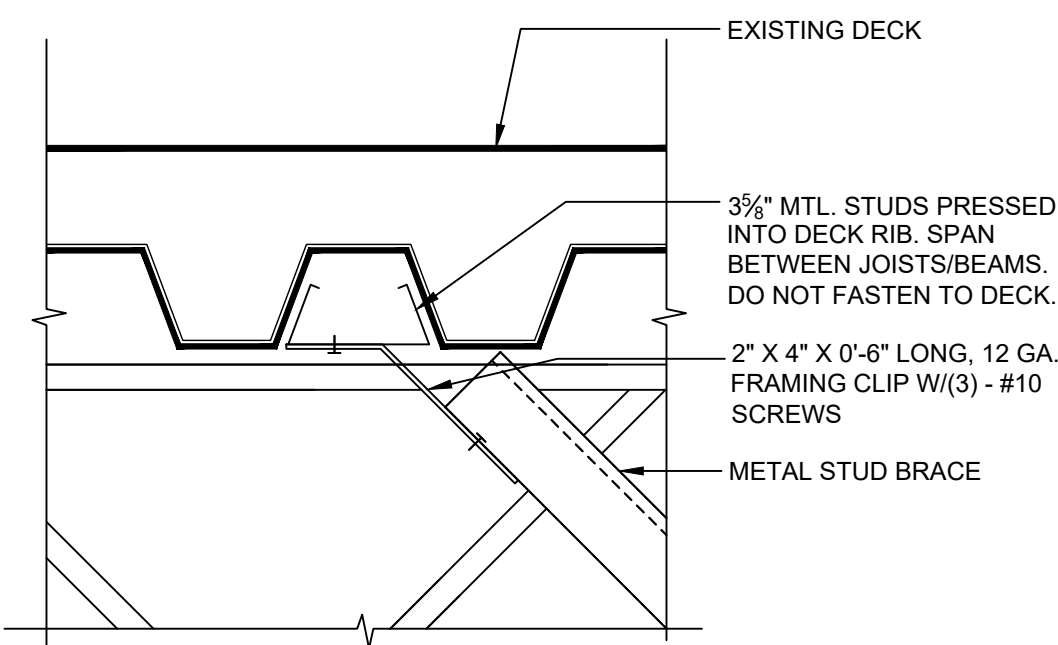


WALL AT DOWN RIB

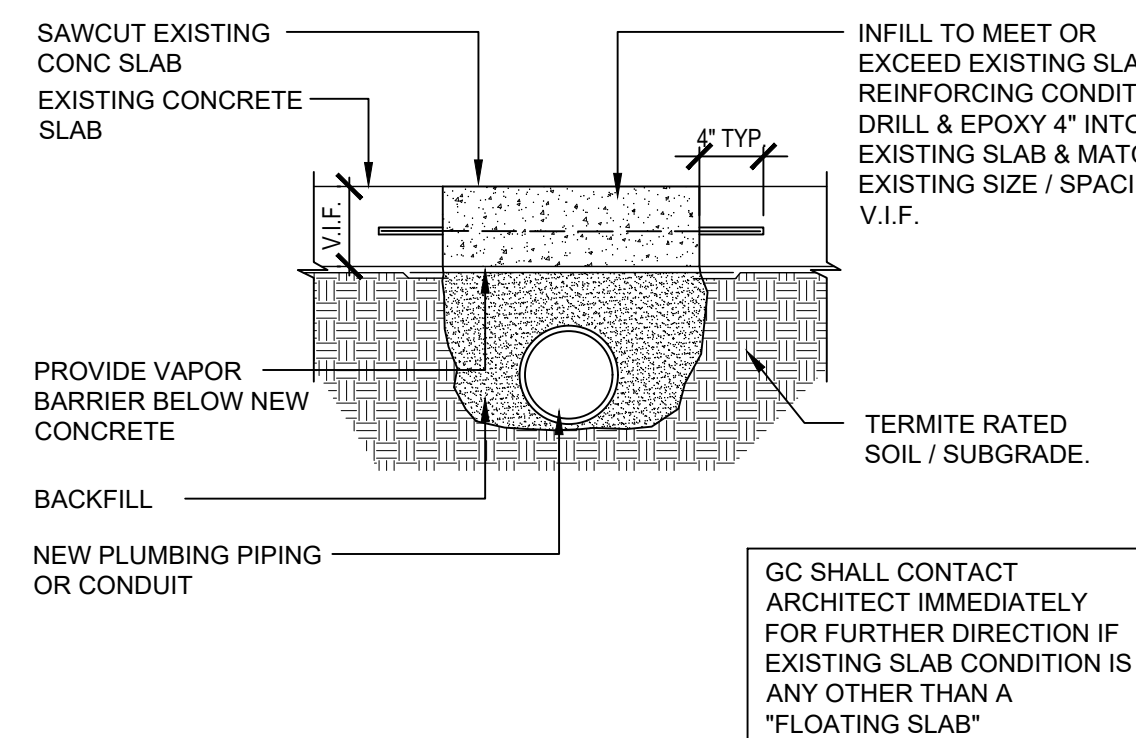


WALL AT UP RIB

13 ATTACHMENT DETAIL
A-501 SCALE: 3"=1'-0"

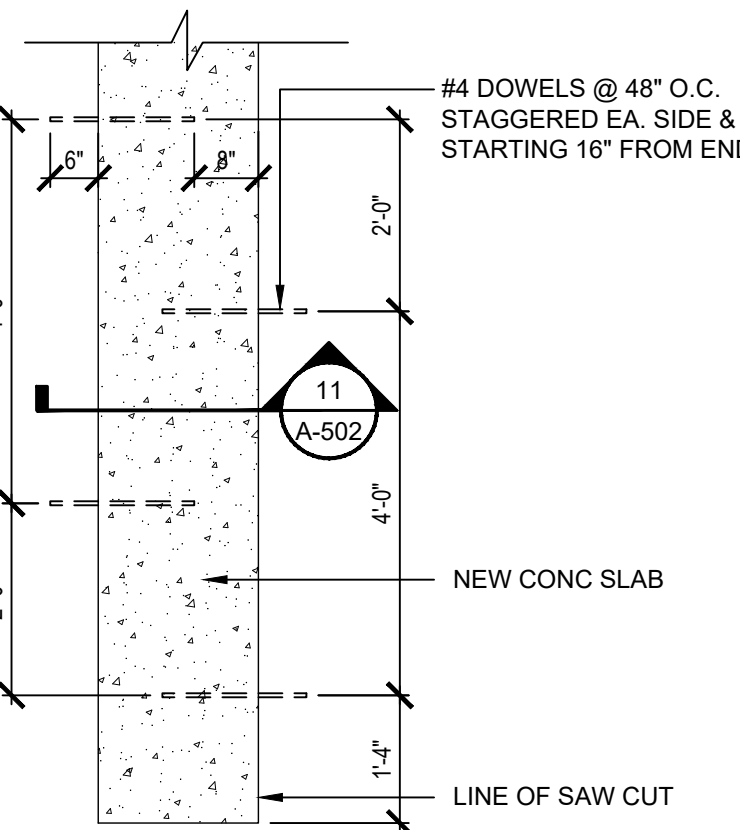


12 ATTACHMENT DETAIL
A-501 SCALE: 3"=1'-0"



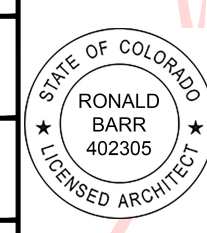
GC SHALL CONTACT ARCHITECT IMMEDIATELY FOR FURTHER DIRECTION IF EXISTING SLAB CONDITION IS ANY OTHER THAN A "FLOATING SLAB"

11 SAWCUT/ POURBACK DETAIL
A-501 SCALE: 1"=1'-0"



10 CONCRETE SLAB PATCH
A-501 SCALE: 1/2"=1'-0"

Proj. Mgr.
KB
Job. Capt.
RB
Drawn by
KB
Rev'd by
RB



Digitally signed by
Ronald Barr
Date:
2023.01.24
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Revisions	
1	BUILDING COMMENTS 01.23.23

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architecture • construction management • planning • interiors

Sheet Title:	DETAILS
Scale:	NOTED
Date:	10.28.22
Project No:	22-2408
Sheet No:	A-501



2 RESTROOM SIGNAGE
A-502 N.T.S



Sheet Title: <div style="text-align: center; font-size: 24px; font-weight: bold;">DETAILS & ELEVATIONS</div>	
Scale: NOTED	
Date: 10.28.22	Sheet No. <div style="font-size: 48px; font-weight: bold;">A-502</div>
Project No. 22-2408	



FOR ALL FRAMES, INSTALL (4) PINK CORNERS ON THE BACK SIDE OF THE FRAME WITH #8 X .625" SCREWS. A TEMPLATE IS PROVIDED TO HELP LOCATE HOLES.

Note

SEE DIVISION 8 OF THE SPECIFICATIONS, CONTAINING IMPORTANT INFORMATION RELATING TO BUILDING CODES, CITY ORDINANCES, MATERIALS AND METHODS.

Remarks

<p>A. NONE.</p>	<ol style="list-style-type: none"> 1. PROVIDE VENT IN DOOR - PAINT TO MATCH 2. UNDERCUT DOOR 1" 3. PAINT DOOR ON INTERIOR TO MATCH WALLS 4. REUSE EXISTING DOOR AND HARDWARE IF POSSIBLE. EXISTING HARDWARE TO BE EQUAL TO SCHEDULED HARDWARE. EXIT DOOR TO HAVE PANIC HARDWARE - GC TO VERIFY EXISTING AND PROVIDE IF IT DOES NOT EXIST 5. WHITE SINGLE PANEL DOOR WITH SOUNDPROOF COW QUIET DOOR SWEEP (OR SIM) 6. DOOR TO BE DOUBLE ACTING (SWING IN BOTH DIRECTIONS) WITH NO LATCH OR LOCK. DOOR WILL NOT REQUIRE THE USE OF HANDS TO OPEN 7. SEE ELEVATIONS THIS PAGE AND WADSWORTH DESIGN DRAWINGS 8. GLASS IN DOOR TO BE TO BE CATEGORY II SAFETY GLAZING PER FBC 2406.4.1
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Doors and Frames

Hardware Groups

HARDWARE GROUP A	SCHLAGE OR EQUAL SATIN 'S' SERIES S40SAT626	PRIVACY SET SINGLE ACTION, LEVER TYPE	SATIN CHROME -	1 1/2 PAIR HINGES SILENCERS
HARDWARE GROUP B	SCHLAGE OR EQUAL SATIN 'S' SERIES S40SAT626	PASSAGE SET SINGLE ACTION, LEVER TYPE	SATIN CHROME -	1 1/2 PAIR HINGES, SILENCERS MAGNETIC CATCH
HARDWARE GROUP C	PROVIDED BY WADSWORTH	LINEAR PULL NO LATCH/LOCK	SATIN CHROME	2 HINGES
HARDWARE GROUP D	SCHLAGE OR EQUAL SATIN 'S' SERIES S40SAT626	KEYED OFFICE LOCK SINGLE ACTION, LEVER TYPE	SATIN CHROME -	1 1/2 PAIR HINGES, SILENCERS MAGNETIC CATCH



DIVISION 3 CONCRETE

- 1.1 CLEAN, GRIND, FILL AND LEVEL ALL EXISTING CONCRETE TO RECEIVE NEW FLOORING, STAINING OR SEALING.
2. FLOORS TO RECEIVE SHEET VINYL OR CERAMIC TILE SHALL NOT VARY MORE THAN $\frac{1}{4}$ " PER 10 FEET.
3. BACK POURED CONCRETE, WHERE SAW CUTTING HAS OCCURRED, SHALL BE SMOOTH AND LEVEL AND HAVE A FINISH TO MATCH THE ADJACENT CONCRETE. USE 2,500 PSI CONCRETE OR HIGHER. PROVE #4 X 12" REBAR DOWELS AT 48" O/C, DRILLED AND DOWELED INTO SIDE OF CONCRETE AT ALL SAW CUT JOINTS.
4. ALL TRENCHES SHALL BE BACKFILLED IN LIFTS OF NOT GREATER THAN 6" AND RECOMPACTED TO 90% OF EXISTING SOLIDPAID COMPACTION.

1.1. PROVIDE KRAFT FACED FIBERGLASS BATT INSULATION IN THE FOLLOWING LOCATIONS:
 A. AT ALL BUILDING EXTERIOR WALLS IN CONDITIONED SPACES: 2" OR 4" INSULATING BATTS TO MATCH DEPTH OF FURRING. CONTRACTOR MAY USE RIGID FOAM INSULATION AT HIS OPTION.
 B. AT ALL BUILDING EXTERIOR WALLS IN UNCONDITIONED SPACES: 2" TO MATCH SIZE OF DEMISING WALL STUDS
 C. AT ALL WALLS SEPARATING CONDITIONED SPACE FROM EVAPORATIVE COOLED OR NON-CONDITIONED SPACE: 4" OR 6" INSULATING BATTS TO MATCH SIZE OF DEMISING WALL STUDS
 D. AT ALL TOILET ROOM WALLS AND CEILINGS: 4" SOUND BATTS.
 E. AT ALL ROOMS CONTAINING ELECTRICAL TRANSFORMERS: 4" INSULATING BATTS IN WALLS AND ABOVE CEILING.
 F. AT OTHER LOCATIONS, IF ANY, AS SPECIFIED ON THE FLOOR PLANS: 4" SOUND BATTS.

2. INSULATION BOTH THERMAL AND ACOUSTIC TO HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE DEVELOPED INDEX OF NOT MORE THAN 450. (FBC 803.8, IBC 719 AND ASTM E84).

1.1 ALL EXITS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

2.1 MANUALLY OPERATED EDGE OR SURFACE MOUNTED FLUSH BOLTS AND SURFACE BOLTS ARE PROHIBITED.

3.1 ITEM 1 NEED NOT APPLY TO THE FRONT DOOR OF A PLACE OF BUSINESS AS LONG AS A SIGN IS PLACED ABOVE THE DOOR IN 2" BLOCK LETTERS WITH CONTRASTING BACKGROUND THAT READS, "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED".

WINDOWS AND GLASS

1.1 ALL GLASS SUBJECT TO HUMAN IMPACT SHALL CONFORM TO THE STANDARDS SET FORTH IN SECTION 2406 OF THE INTERNATIONAL

2.1 GLASS: MATCH EXISTING THICKNESS, DESIGN AND FEATURES OF EXISTING GLASS. OTHERWISE USE 1/4" FLOAT OR TEMPERED AS REQUIRED BY NOTE 1 ABOVE.

1.1 ALL HARDWARE SHALL MATCH EXISTING HARDWARE IN FINISH AND STYLE AT ALL REMODELED SPACES.

1.1 REPAIR ALL EXISTING WALLS, FLOORS AND CEILINGS THAT ARE TO REMAIN. REPAIR TO "LIKE NEW" CONDITION, MATCHING ALL NEW WORK IN QUALITY, COLOR AND MATERIALS.

2.1 SMOKE AND FLAME SPREAD FOR INTERIOR FINISHES FOR WALLS AND CEILING TO BE PER ASTM E84 AND FBC 803. FOR B OCCUPANCIES IN A SPRINKLERED SUITE:

DEVELOPED (0-450)	CLASS B	(FLAME SPREAD 26-75, SMOKE DEVELOPED 0-450)
CORRIDORS	CLASS C	(FLAME SPREAD 76-200, SMOKE DEVELOPED 0-450)
ROOMS AND ENCLOSED SPACES	CLASS C	(FLAME SPREAD 76-200, SMOKE DEVELOPED 0-450)

3.1 ALL EXTERIOR BUILDING WALLS IN CONDITIONED SPACES UPON COMPLETION OF THE PROJECT SHALL RECEIVE 2" METAL STUD FURRING, BATT INSULATION AND GYP. BOARD WITH WALL FINISHES TO MATCH ADJACENT WALLS.

4.1 WALL FINISH NOTES

- a. AT NEW WALLS IN NEW AREAS: LEVEL 4 SMOOTH TEXTURE TO MATCH EXISTING WALLS, EGGSHELL LATEX PAINT.
- b. NEW WALLS IN EXISTING AREAS: WALL FINISH TO MATCH EXISTING WALLS, EGGSHELL LATEX PAINT.
- c. AT EXISTING WALLS: REPAIR TO "LIKE NEW" CONDITION MATCHING ALL NEW WORK IN QUALITY. REPAIRMENT WITH EGGSHELL LATEX PAINT.
- d. AT WALLS TO RECEIVE WALL COVERING: SMOOTH FINISH, NO TEXTURE, PAINT WITH WALL PRIMER.
- e. ALL WALLS SHALL HAVE ROUND CORNER BED, SQUARE CORNER BED, TYP.
- f. ALL GYP BOARD SOFFITS SHALL HAVE ROUND CORNER BED, SQUARE CORNER BED, TYP.
- g. ALL WALLS AND CEILING IN RESTROOMS SHALL BE PAINTED WITH SEMI-GLOSS LATEX PAINT.

5.1 FLOOR FINISH NOTES:

- a. ALL FLOOR TO RECEIVE CERAMIC TILE SHALL HAVE A MAXIMUM OF 1/8" PER FOOT SLOPE ACROSS PER 10'X10' AREA.
- b. ALL FLOOR EXPANSION JOINTS, PATCHES AND IMPERFECTIONS SHALL BE PREPARED WITH EPOXY TYPE FLOOR FILLER AND/OR FILLER PRIOR TO FINAL FLOOR COVERING INSTALLATION.
- c. ALL FLOOR FINISHES ARE AS INDICATED ON THE ROOM FINISH SCHEDULE, WITH FINAL COLOR AND TYPE SELECTIONS BY OWNER/TENANT.
- d. CARPET AND INTERIOR FLOOR FINISHES COMPRISED OF FIBERS IN VERTICAL EXITS, EXIT PASSAGeways AND EXIT ACCESS CORRIDORS SHALL NOT BE LESS THEN CLASS II IN ACCORDANCE WITH NFPA 254. IN OTHER AREAS THE INTERIOR FLOOR FINISHES SHALL COMPLY WITH THE DOC DFC-1 "PILL TEST" (CSPC 16 CFR, PART 1609).
- e. ALL FLOOR FINISHES ARE REQUIRED.
- f. TRANSITIONS BETWEEN MATERIALS TO BE WITH SLEUTER TRIM OR EQUIVALENT. MAXIMUM 1/8" TOLERANCE BETWEEN ELEVATIONS OF FINISHED MATERIALS.

1.1 GRAB BARS: AS MANUFACTURED BY HARNEY HARDWARE. ALL GRAB BARS MUST BE INSTALLED SO AS TO RESIST A VERTICAL LOAD OF 300 LBS. MINIMUM.

GB1: 36" STAINLESS STEEL #71779

GB2: 48" STAINLESS STEEL #71780

GB3: 18" STAINLESS STEEL #71776 (ONLY IF REQUIRED)

3.1 TOILET ACCESSORIES: ALL ITEMS AS MANUFACTURED BY BOBRICK-CLASSIC SERIES OR EQUAL.

a. PROVIDE ONE EACH AT EACH SINGLE USE TOILET:

- TOILET PAPER DISPENSER, #B-2888 STAINLESS STEEL
- TOILET SEAT COVER DISPENSER, #B-221 STAINLESS STEEL
- SOAP DISPENSER, #B-2111 STAINLESS STEEL
- WASTE RECEPTACLE, #B-279 STAINLESS STEEL
- PAPER TOWEL DISPENSER, #B-262 STAINLESS STEEL
- MIRROR 24" X 36", #B-165 2436
- SANITARY NAPKIN DISPOSAL, #B-270 (WOMEN'S SINGLE USE TOILET ONLY)

5.1 FIRE EXTINGUISHERS: AS REQUIRED BY LOCAL JURISDICTION.

CASEWORK

1.1 DETAILED CASEWORK DRAWINGS ARE NOT A PART OF THE SCOPE OF THESE DOCUMENTS. CONTRACTOR SHALL WORK WITH A CASEWORK SUBCONTRACTOR AND THE OWNER/TENANT TO DETERMINE THE LAYOUT AND QUANTITY OF ALL CASEWORK DIAGRAMMATICALLY SHOWN ON THE FLOOR PLANS.

2.1 PROVIDE CASEWORK AS INDICATED IN THESE DOCUMENTS. PROVIDE SHOP DRAWINGS FOR BARR ARCHITECTURE TO REVIEW PRIOR TO MANUFACTURING SHOWING THE TYPE OF FABRICATION PROPOSED.

3.1 PROVIDE CASEWORK WITH ALL NECESSARY HARDWARE, HINGES AND PULLS.

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LITTLETON, CO 80123**

JEFFERSON
COUNTY COLORADO
**THIS DRAWING HAS BEEN
REVIEWED FOR CODE COMPLIANCE**
Subject to field inspection. Section 1708 of R330 Jefferson
County Building Code and Jefferson County Residential Code.
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architecture • construction management • planning • interiors

Sheet Title:

DOOR SCHEDULE & ARCHITECTURAL SPECIFICATIONS

Scale:

Date:

10.28.22

Project No.

22-2408






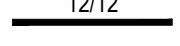








Sheet No.

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77001

MECHANICAL SPECIFICATIONS	
1.1	HVAC UNITS: SEE SCHEDULE. INSTALL PER MANUFACTURERS INSTRUCTIONS.
2.1	CONDENSATE DRAINS: COPPER. RUN TO AN APPROVED DRAIN. SLOPE AT 1/8" PER FOOT.
3.1	EXHAUST: <ul style="list-style-type: none">a. EXHAUST VENTS MUST TERMINATE 10' HORIZONTALLY FROM OR 3' ABOVE AIR INTAKES, WINDOWS AND VENT SHAFTS.b. SEE SCHEDULE. INSTALL PER MANUFACTURER'S INSTRUCTIONS.c. MECHANICAL VENTILATION IN TOILET ROOMS SHALL PROVIDE ONE COMPLETE AIR EXCHANGE EVERY FIFTEEN MINUTES AND SHALL BE VENTED TO THE OUTSIDE OF THE BUILDING.
4.1	DUCTWORK: <ul style="list-style-type: none">a. VERTICAL DROPS: 24 GAUGE GALVANIZED METAL WITH 1/2" DUCT LINER OR 1" FIBERGLASS DUCT BOARD, UL-181, CLASS 1. DUCT TO HAVE MINIMUM R-3 INSULATION AT NON CONDITIONED AREAS.b. HORIZONTAL DUCTWORK: 1" THICK ALUMINUM FACED FIBER DUCT BOARD, UL-181, CLASS 1. DUCT TO HAVE MINIMUM R-6 INSULATION AT NON CONDITIONED AREAS.c. DUCTWORK ABOVE THE ROOF: GALVANIZED SHEET METAL, LOCK FORM QUALITY, 1-1/4 oz. ZINC GALVANIZING PER SQUARE FOOT. LINE WITH 1" THICK MANVILLE LINACOUSTIC COATED LINER OR EQUAL. DUCT TO HAVE MINIMUM R-12 INSULATION VALUE.d. EXHAUST DUCTS: GALVANIZED SHEET METAL, LOCK FORM QUALITY, 1-1/4 oz. ZINC GALVANIZING PER SQUARE FOOT.e. FLEX DUCT: GENERAL FLEX TYPE, WITH INSULATION, SLR-25, UL1818, CLASS 1.f. TAKE OFF FITTINGS: TWIST-LOK TYPE DB-1DEL FITTINGS WITH 45° EXTRACTOR AND MANUAL VOLUME CONTROL DAMPER. USE FOR ALL CONNECTIONS OF FLEX DUCT WITH FIBER DUCT BOARD. USE FITTING WITHOUT EXTRACTOR FOR RETURN AIR AND TRANSFER DUCT CONNECTIONS.g. SUSPEND DUCTWORK FROM STRUCTURE ABOVE. HANGERS TO BE 5'-0" O.C. MAXIMUM.h. JOINTS: SYSTEM IS A LOW PRESSURE SYSTEM. JOINTS, SEAMS AND CONNECTIONS SHALL BE SECURELY FASTENED AND SEALED WITH WELDS, GASKETS, MASTICS OR TAPES INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTALLATION INSTRUCTIONS. TAPES AND MASTICS TO BE LABELED PER UL181A AND UL181B PER THEIR TYPE, AND BE MARKED ACCORDINGLY.i. DRYER EXHAUST DUCTS: GALVANIZED SHEET METAL, LOCK FORM QUALITY, MIN 26 GA.
5.1	REGISTERS, GRILLES AND DIFFUSERS: APPROVED SUPPLIERS ARE KRUEGER, J&J, HART & COOLEY, METALAIRE AND CARNES.
6.1	GRAVITY DAMPERS: GRAVITY DAMPERS ARE TO BE INSTALLED ON OUTDOOR AIR SUPPLY DUCTS AND TO EXHAUST DUCTS.
7.1	A SEPARATE THERMOSTAT WILL BE PROVIDED TO OPERATE EACH HVAC UNIT. THERMOSTAT TO BE 7 DAY / 4 PERIOD PROGRAMMABLE, WITH 10 HOUR MEMORY BATTERY BACKUP, WITH MANUAL HEATING/COOLING CHANGEOVER, AND 2 HOUR MANUAL OPERATION OVERRIDE. SETBACK TEMPERATURE TO BE SET BETWEEN 55°(F) AND 85°(F).
8.1	PROVIDE OWNER WITH ALL OPERATING AND MAINTENANCE MANUALS, UNIT SPECIFICATION CUT SHEETS, WIRING DIAGRAMS AND SCHEMATICS TO AC UNITS AND THERMOSTATS. PROVIDE DOCUMENTATION ON THE INTENDED USE OF EACH PIECE OF EQUIPMENT, AND BALANCING REPORT.
9.1	SMOKE DETECTORS: SMOKE DETECTORS: PROVIDE FOR AUTOMATIC SHUTOFF TO THE SUPPLY DUCTS FOR DETECTION OF SMOKE FOR EACH UNIT. AUTOMATIC SHUTOFF SHALL INTERRUPT THE POWER SOURCE OF ALL UNITS UPON DETECTION OF SMOKE. [REQUIRED ON UNITS OVER 2000CFM]

GENERAL SHEET NOTES	
A.	SEE MECHANICAL SPECIFICATIONS THIS SHEET FOR IMPORTANT INFORMATION RELATING TO BUILDING CODES, CITY ORDINANCES, MATERIALS AND METHODS.
B.	ROOF PENETRATIONS AND ROOF WORK TO BE PERFORMED BY LANDLORD'S CONTRACTOR IF REQUIRED. VERIFY WITH LANDLORD.
C.	ROOMS THAT ARE SHOWN WITHOUT RETURN AIR REGISTER OR A TRANSFER GRILL, SHALL HAVE AN UNDERCUT DOOR BY 1" FOR RETURN A/C BALANCE.

MECHANICAL LEGEND	
FLEX DUCT AND NECK SIZES FOR SUPPLY AND RETURN AIR.	
0-75 CFM=	6x6 NECK W/ 6"ø FLEX
76-175 CFM=	9x9 NECK W/ 8"ø FLEX
176-200 CFM=	12x12 NECK W/ 8"ø FLEX
201-280 CFM=	12x12 NECK W/ 10"ø FLEX
281-350 CFM=	12x12 NECK W/ 12"ø FLEX
351-425 CFM=	15x15 NECK W/ 12"ø FLEX
426-500 CFM=	15x15 NECK W/ 14"ø FLEX
501-560 CFM=	18x18 NECK W/ 14"ø FLEX
	SUPPLY AIR REGISTER
	SUPPLY AIR REGISTER WITH DAMPER IN REGISTER
	RETURN AIR GRILLE W/ FILTER
	24X24 TRANSFER GRILL EACH SIDE WITH 10"ø FLEX DUCT CONNECTOR U.N.O.
	FLEX DUCT WITH MANUAL VOLUME CONTROL DAMPER
	DUCT SIZE INDICATOR
	CHANGE IN DUCT SIZE
	SUPPLY DUCT
	RETURN DUCT
	EXHAUST FAN
	PROGRAMMABLE THERMOSTAT: MOUNTED BETWEEN 48"-64" A.F.F.
	SMOKE DETECTOR ON SUPPLY DUCT
	CONDENSATION LINE DOWN TO WASTE LINE
	MECHANICAL UNIT. SEE MECHANICAL EQUIPMENT SCHEDULE FOR UNIT INFORMATION AND WEIGHT.

OUTSIDE AIR REQUIREMENT	
RTU1(E) - 2000-CFM SUPPLY	
EQUATION 4-1: (RpPz + RaAz) / .8 = Voz	
RTU-1:	
RETAIL STORE:	
1288 SF / 1000 X 15 = 19.32	
((7.5 X 19.32) + (0.12 X 1288)) / .8 = 375 CFM	
TOTAL: 375 CFM REQUIRED	

MECHANICAL KEYNOTES	
1.	EXISTING 5-TON ROOFTOP MOUNTED MECHANICAL UNIT TO REMAIN. GC TO CONFIRM GAS LINE AND METER DEMISING/SEPARATION HAS BEEN DONE BY LL. PROVIDE LINE ITEM COST IF REQUIRED
2.	EXISTING EXHAUST FAN TIED TO EXISTING ROOF CAP TO REMAIN
3.	CONTRACTOR TO VERIFY EXISTING CONDENSATE LINE EXISTS. IF NOT, PROVIDE 3/4" COPPER CONDENSATE TO Y FITTING OF TAIL PIECE OF LAVATORY OR MOP SINK. SLOPE 1/4" / FT MIN
4.	RELOCATE EXISTING THERMOSTAT OR PROVIDE NEW PER OWNERS SPECIFICATIONS - CONFIRM WITH OWNER
5.	UNDERCUT DOOR 1"

Mechanical Equipment Schedule										
	MANUFACTURER & MODEL #	TONS	CFM	VOLT.	PHASE	FLA	WEIGHT	REMARKS	NOTES	
RTU-1(E)	EXTG - CARRIER-48KCF0A06A2M5A6U2C0	5	2000	280V	3	-	-	EXISTING ROOF TOP UNIT	1	
EF-1(E)	EXISTING	-	75	-	-	-	-	EXISTING EXHAUST FAN	-	
NOTES:										
1. EXISTING RTU TO REMAIN. EXISTING DUCTING AND REGISTERS TO REMAIN - RELOCATE EXISTING (E) REGISTERS PER PLAN AND PROVIDE NEW (N) AS REQUIRED										

JEFFERSON

COUNTY COLORADO

THIS DRAWING HAS BEEN
REVIEWED FOR CODE COMPLIANCE

Subject to field inspections Section 110 or R109 Jefferson
County Building Code and Jefferson County Residential Code.

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Proj. Mgr.
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Job. Capt.
RB

Drawn by
KB

Rev'd by
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COLORADO REGISTERED
41389
Brian G. Wieschke
Professional Engineer
14342307-0500

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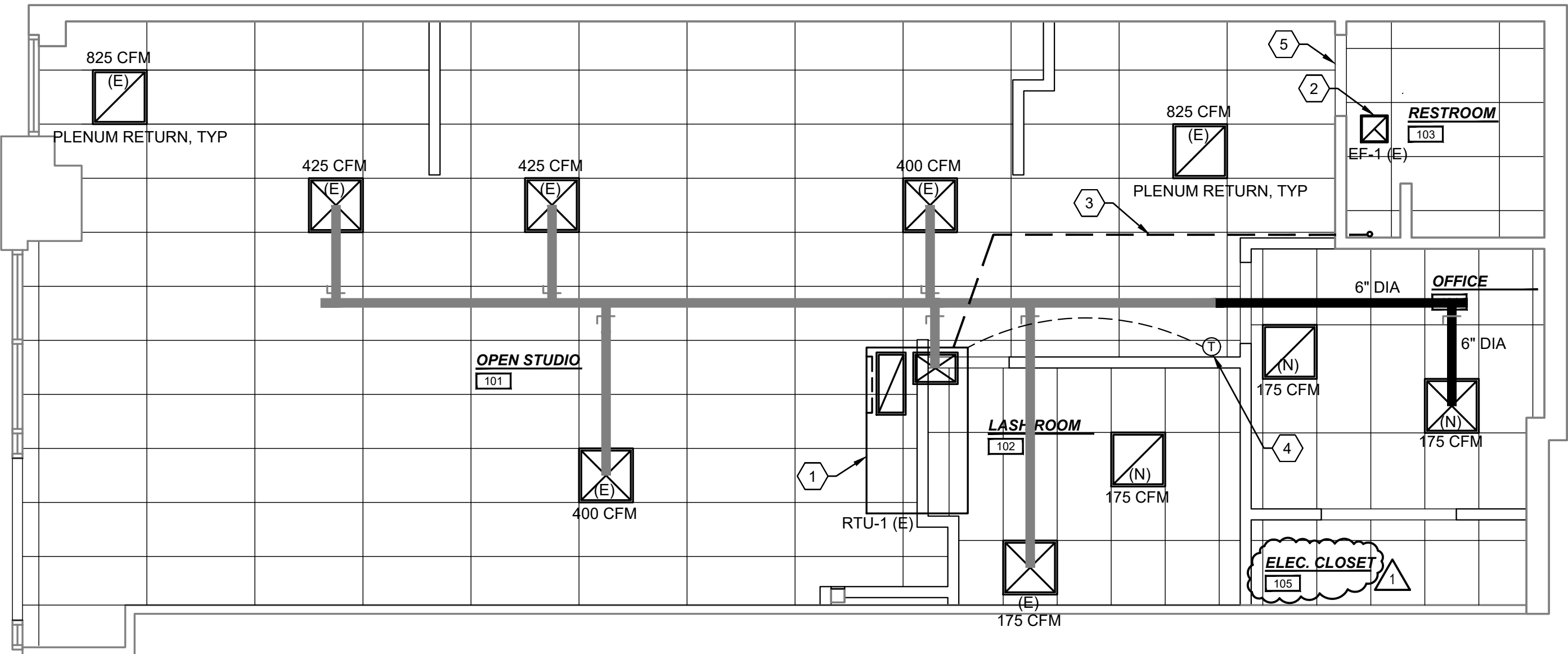
Revisions

1

BUILDING COMMENTS 01.23.23

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5746 S WADSWORTH BLVD, SUITE #3100
LITTLETON, CO 80123



N

1
M-100

MECHANICAL PLAN

SCALE: 1/4"=1'-0"

0' 1' 2' 4' 8'
1/4" = 1'-0"

GC TO COORDINATE BUILD-OUT WITH WADSWORTH DESIGN PACKAGE. ANY DISCREPANCIES TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE PM

BARR ARCHITECTURE, INC.

The Design-Build Team

architects • general contractors

AA# 26003152

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MECHANICAL PLAN

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Date:

10.28.22

Sheet No.

Project No.

22-2408

M-100

PLUMBING SPECIFICATIONS	
1.1	ALL WATER FIXTURES SHALL HAVE HOT AND/OR COLD SHUT OFF VALVES.
2.1	INSULATE ALL HOT WATER SUPPLY AND RETURN PIPING.
3.1	PLUMBING FIXTURES SHALL HAVE THE FOLLOWING MAXIMUM FLOW RATES: a. WATER CLOSETS: 1.6 GALLONS PER FLUSHING CYCLE b. LAVATORIES: 0.5 GALLONS PER MINUTE AT 60 PSI c. SINKS: 2.2 GALLONS PER MINUTE AT 60 PSI d. URINALS: 1.0 GALLON PER FLUSHING CYCLE e. SHOWER HEAD: 2.5 GALLONS PER MINUTE AT 80 PSI
4.1	SLOPE ALL SEWER LINES AS FOLLOWS: a. 4" AND LARGER: 1% b. 3" AND SMALLER: 2%
5.1	EACH CLEAN OUT SHALL BE READILY ACCESSIBLE AND LOCATED AS TO SERVE ITS PURPOSE.
6.1	ALL SURFACE CLEAN OUTS SHALL EXTEND TO FINISH GRADE.
7.1	ALL FLOOR DRAINS / FLOOR SINKS SHALL HAVE TRAP PRIMERS.
8.1	VENTS MUST TERMINATE 10 HORIZONTALLY FROM OR 3 FEET ABOVE AIR INTAKES, WINDOWS AND VENT SHAFTS
9.1	PIPING REQUIREMENTS: a. POTABLE WATER: TYPE L HARD DRAWN COPPER FOR ALL ABOVE SLAB USES. TYPE K SOFT DRAWN COPPER FOR ALL IN-SLAB AND UNDERGROUND USES. NO JOINTS OR FITTINGS ARE PERMITTED IN-SLAB OR UNDERGROUND. b. WASTE AND VENT: CAST IRON ABOVE GROUND AND ABS BELOW SLAB IN TYPE III-A, 1 HOUR OR TYPE V-A, 1 HOUR CONSTRUCTION. SEE "PROJECT INFORMATION" ON SHEET A-1 FOR CONSTRUCTION TYPE. c. WASTE AND VENT: ABS IN TYPE III-B OR TYPE V-B CONSTRUCTION. SEE "PROJECT INFORMATION" ON SHEET A-1 FOR CONSTRUCTION TYPE.
10.1	ALL ROUGH-IN LOCATIONS SHOWN ARE APPROXIMATE. FINAL AND ACCURATE LOCATION IS THE RESPONSIBILITY OF THE CONTRACTOR. COORDINATE WITH ALL ACCESSIBILITY ISSUES.
11.1	CONTRACTOR IS RESPONSIBLE FOR ALL ROUGH-IN AND FINAL CONNECTION OF ALL PLUMBING FIXTURES UNLESS NOTED OTHERWISE ON THE PLANS.
12.1	INSTALL ALL FAUCETS, DRAINS AND SIMILAR ITEMS FURNISHED BY THE EQUIPMENT SUPPLIERS REQUIRED FOR ALL EQUIPMENT TO FUNCTION PROPERLY.

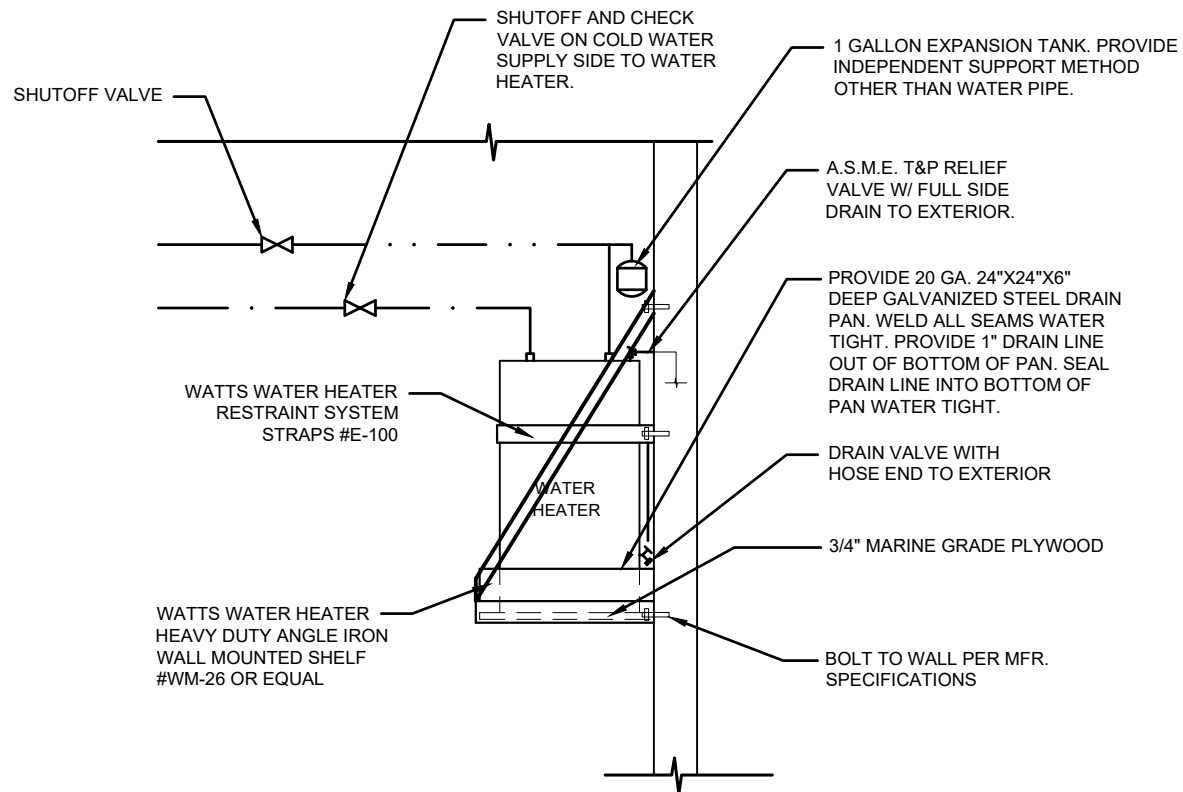
GENERAL SHEET NOTES	
A.	WASTE AND VENT PIPE SIZES, SEE THIS SHEET.
B.	SEE PLUMBING SPECIFICATIONS THIS SHEET FOR IMPORTANT INFORMATION RELATING TO BUILDING CODES, CITY ORDINANCES, MATERIALS AND METHODS.

FIXTURE UNIT COUNT					
FIXTURE	QUAN.	F.U. EACH		F.U. TOTAL	
		WATER	WASTE	WATER	WASTE
CLOTHES WASHER (PRIVATE)	0	3	3	0	0
DISH WASHER	0	1.4	2	0	0
DRINKING FOUNTAIN	0	0.25	0.5	0	0
EVAPORATIVE COOLER	0	2	-	0	-
FLOOR DRAIN	0	-	2	-	0
FLOOR SINK	0	-	3	-	0
HAND SINK	2	1.5	2	3	4
HOSE BIBB	0	5	-	0	-
ICE MACHINE	0	1	-	0	-
LAVATORY	1	1.5	2	1.5	2
MOP SINK	1	3	4	3	4
SERVICE SINK	0	3	2	0	0
SHOWER	0	4	2	0	0
SINK	0	4	2	0	0
TRAP PRIMERS	0	2	-	0	-
URINAL	0	3	4	0	0
WATER CLOSET (FLUSH TANK)	1	2.5	4	2.5	4
3 COMPARTMENT SINK	0	4	3	0	0
DENTAL LAVATORY	0	1	1	0	0
-	0	0	0	0	0
-	0	0	0	0	0
-	0	0	0	0	0
TOTAL UNITS (THIS PROJECT)		10	14		

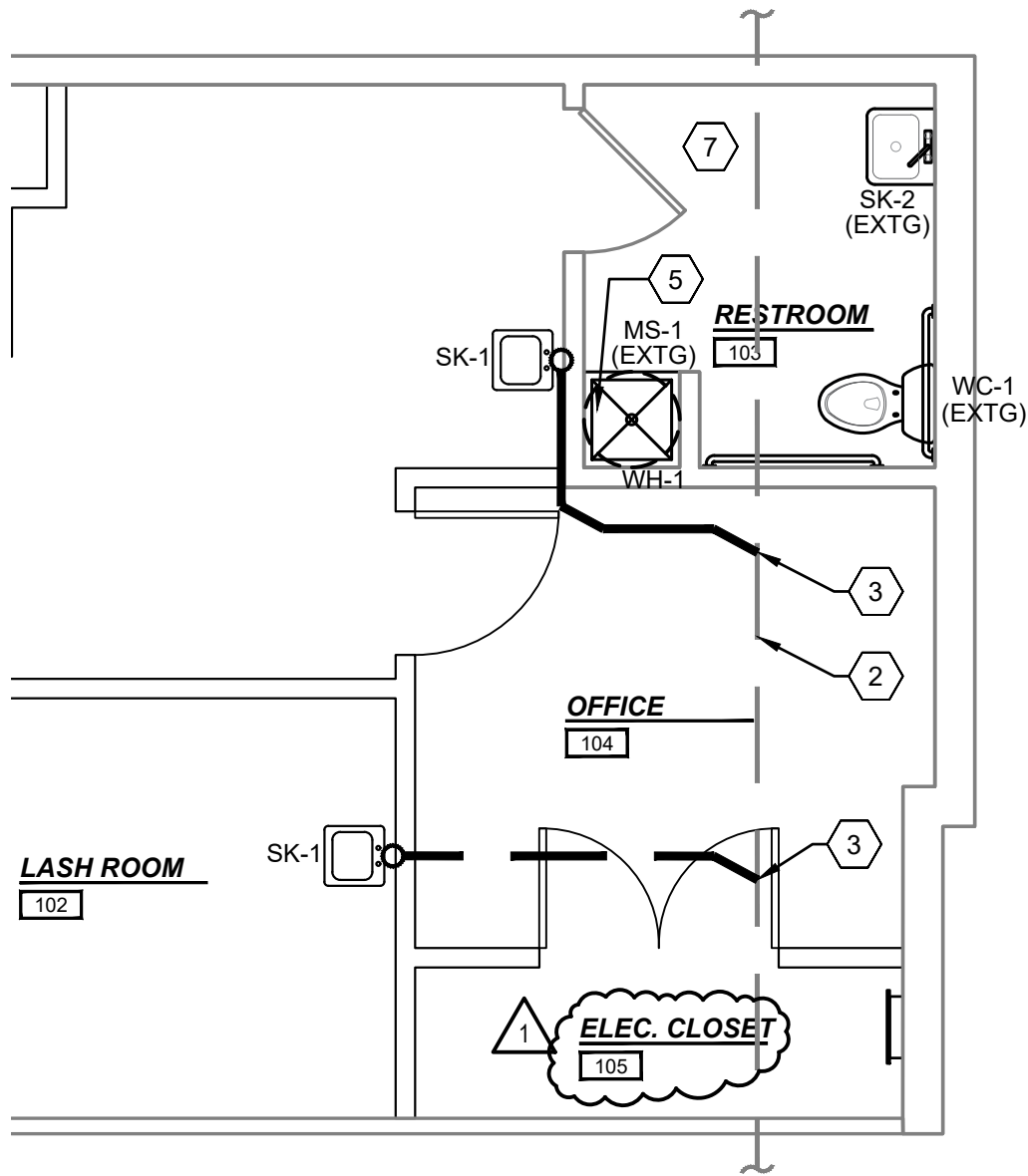
PLUMBING LEGEND	
---	NEW WASTE LINE
---	EXISTING WASTE LINE
---	COLD WATER
---	HOT WATER
---	PVC CONDENSATE DRAIN LINE
---	FLOOR CLEAN OUT
---	2-WAY CLEAN OUT
---	SHUT OFF VALVE
---	WASTE VENT IN WALL
---	INSTANTANEOUS WATER HEATER
---	PLUMBING FIXTURE TYPE. REFER TO PLUMBING FIXTURE SCHEDULE FOR FIXTURE TYPE

PLUMBING KEYNOTES	
1.	EXISTING SHUT OFF VALVE ABOVE CEILING (VERIFY LOCATION).
2.	EXISTING 4"Ø SEWER. VERIFY EXACT LOCATION PRIOR TO SAWCUTTING.
3.	TIE INTO EXISTING SEWER LINE.
4.	TIE INTO EXISTING VENT LINE. VERIFY LOCATION.
5.	PROVIDE HW HEATER WITH GALVANIZED DRIP PAN WITH 3/4" T&P DRAIN WITH AIR GAP TO MOP SINK. WATER HEATER TO BE SET AT 120" MAX. - SEE DETAIL 3/P-100.
6.	EXISTING WATER LINES TO EXISTING RESTROOM TO REMAIN
7.	CONTRACTOR TO VERIFY EXISTING FIXTURES. FIXTURES TO BE EQUAL OR BETTER THAN FIXTURES LISTED ON SCHEDULE. REPLACE FIXTURES AS NECESSARY - CONFIRM WITH OWNER
8.	VERIFY METERING REQUIREMENTS

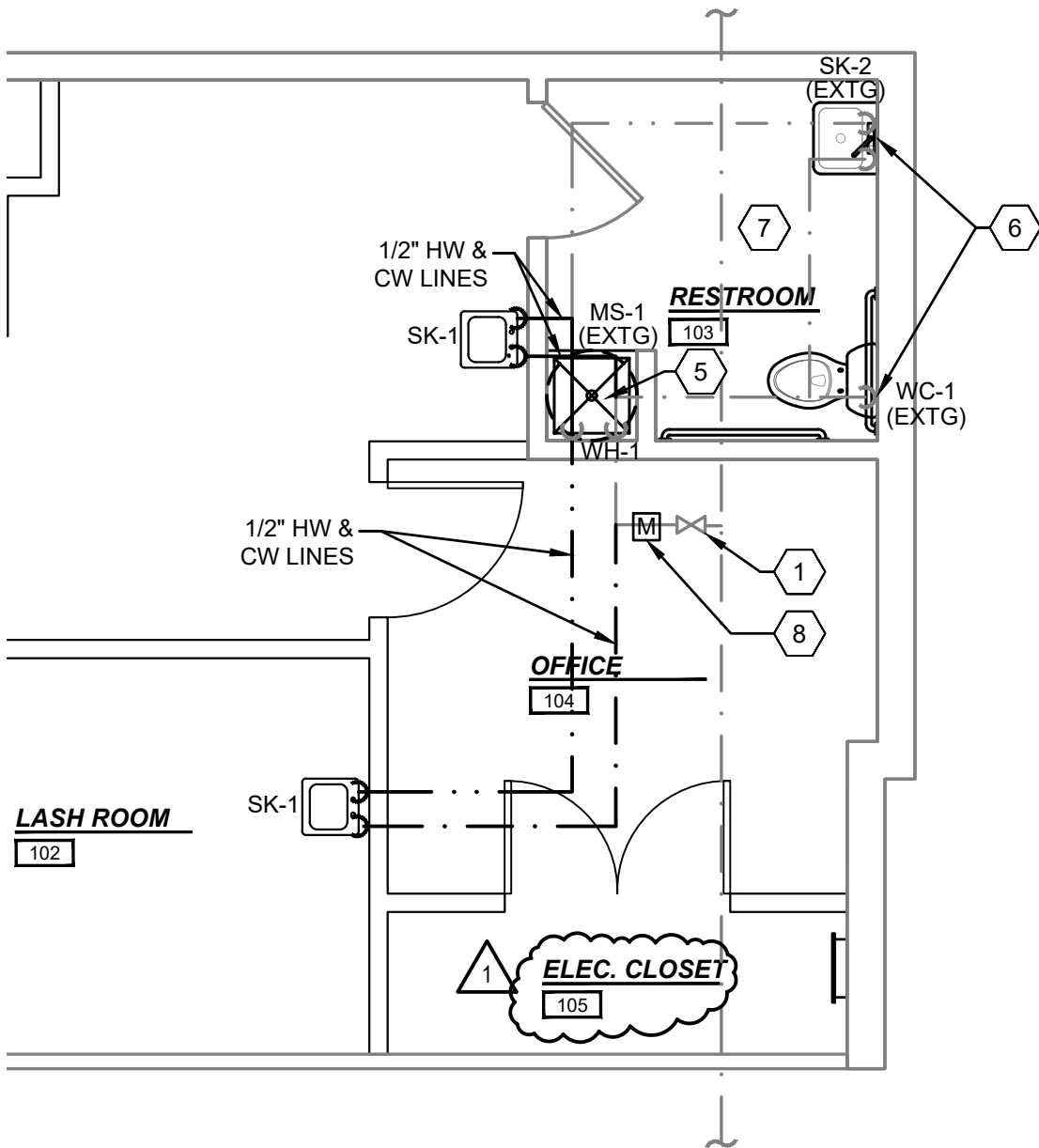
PLUMBING FIXTURE SCHEDULE									
	DESCRIPTION	MANUFACTURER & MODEL #	FITTING & CAPACITY	ACCESSORIES & REMARKS	NOTES	CW	HW	WASTE	VENT
SK-1	HAND WASH SINK -	ELKAY - DAYTON D11515 COLOR: STAINLESS STEEL	-	MOEN 4902 2-HANDLE BAR FAUCET	1	1/2"	1/2"	2"	1.5"
WH-1	WATER HEATER -	AO SMITH OR EQ DEL-20	20 GAL 4500W	ELECTRIC WATER HEATER -	-	3/4"	3/4"	-	-
WC-1 (EXTG)	WATER CLOSET (FLUSH ON OPEN SIDE OF WC) -	KOHLER K-3609-T (LEFT) K-3609-TR (RIGHT)	- -	CIMARRON CLASS 6 ELONGATED - WHITE	-	1/2"	-	3"	2"
SK-2 (EXTG)	SINK -	KOHLER K-2054-N	-	SOHO WALL MOUNT CORALIS CENTER SET FAUCET KOHLER K-15243-4RA	1	1/2"	1/2"	2"	1.5"
MS-1 (EXTG)	MOP SINK 24" X 24" X 10"	EL MUSTEE OR EQ #63M	FLOOR MOUNTED -	OR EQ #63.600A	-	1/2"	1/2"	3"	2"
NOTES: 1. PROVIDE MIXING VALVE FOR PUBLIC-USE LAVATORY TO LIMIT HOT WATER TO A MAXIMUM OF 110°F. USE MIXING VALVE SYMMONS #4-10B OR EQUAL. INSTALL PER MANUFACTURERS INSTALLATION SPECIFICATIONS. INSTALL ADA COMPLIANT PIPE INSULATION AT ALL EXPOSED LAVATORY PIPING									



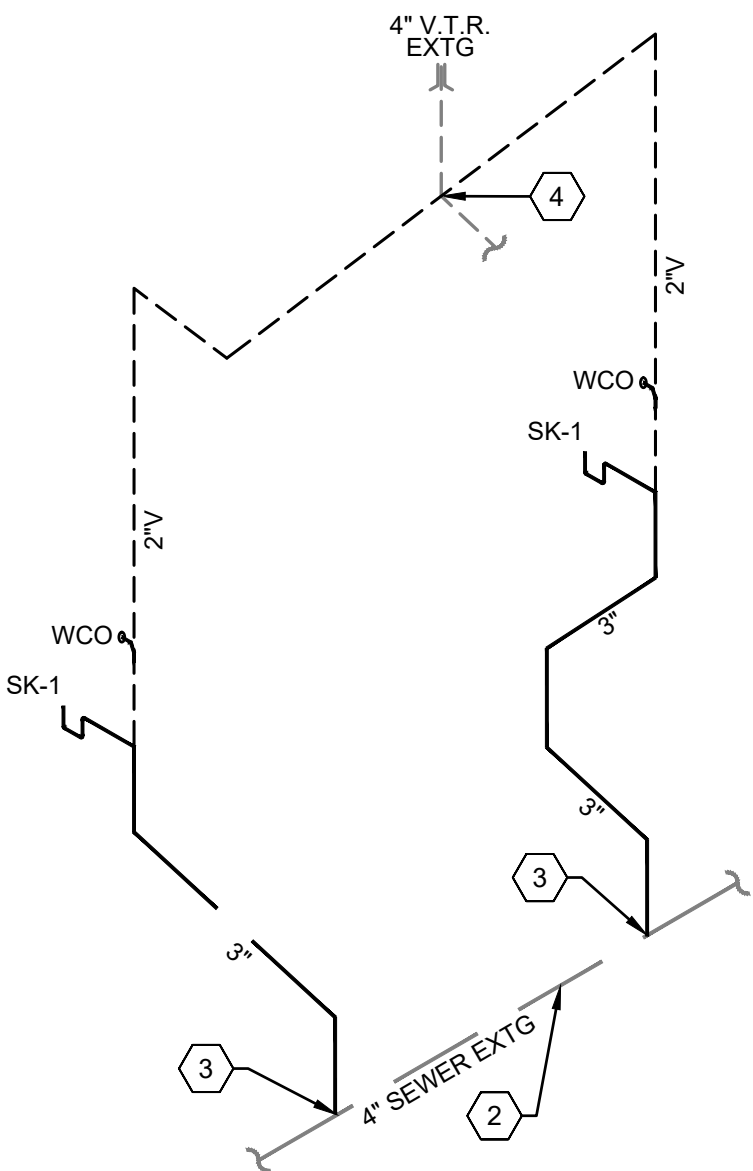
3 WATER HEATER DETAIL
P-100 N.T.S



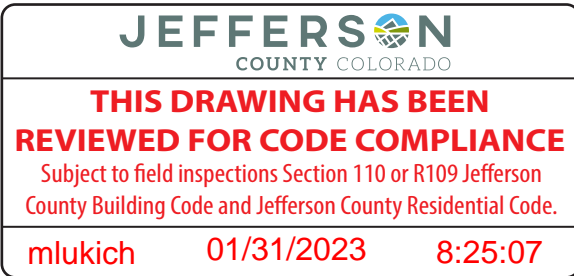
2 PARTIAL SEWER PLAN
P-100 SCALE: 1/4"=1'-0"



1 PARTIAL WATER PLAN
P-100 SCALE: 1/4"=1'-0"



4 WASTE AND VENT SCHEMATIC
P-100 N.T.S



Proj. Mgr.
KB

Job. Capt.
RB

Drawn by
KB

Rev'd by
RB

COLORADO REGISTERED
BY Brian G. Wieseler
41389
01/25/05

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Revisions	BUILDING COMMENTS
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5746 S WADSWORTH BLVD, SUITE #3100
LITTLETON, CO 80123

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The Design-Build Team
architects • general contractors

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architecture • construction management • planning • interiors

Sheet Title:
PLUMBING PLANS

Scale:
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Date:
10.28.22

Project No.
22-2408

Sheet No.
P-100

GC TO COORDINATE BUILD-OUT WITH WADSWORTH DESIGN PACKAGE. ANY DISCREPANCIES TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE PM

GENERAL SHEET NOTES

A. SEE ELECTRICAL SPECIFICATIONS FOR IMPORTANT INFORMATION RELATING TO BUILDING CODES, CITY ORDINANCES, MATERIALS AND METHODS.
B. CONFIRM ALL FINAL RECEPTACLE LOCATIONS WITH WADSWORTH DESIGN DRAWINGS

WIRING SCHEDULE

GENERAL NOTES:
A. PROVIDE CODE SIZE GROUND CONDUCTOR IN ALL CONDUIT (THE GROUND CONDUCTOR IS NOT SHOWN IN WIRE COUNT).
B. AMPACITY SHOWN IS AMPACITY OF CONDUCTOR WITH CORRECTION FACTOR FOR 41-45°C, FOR CONDUCTOR RATED @ 75°C PER NEC TABLE 310.16.

CIRCUIT BREAKER AMPS	CONDUCTORS	AMPACITY	GROUND	CONDUIT SIZE
20	#12	20.5	#12	3/4"
30	#10	28.7	#10	3/4"
40	#8	41.0	#10	3/4"
50	#6	53.3	#10	1"
60	#4	69.7	#10	1"

ELECTRICAL LEGEND

	DUPLEX OUTLET - SEE PLAN FOR HEIGHT (+20" AFF UNO)
	4-PLEX OUTLET - SEE PLAN FOR HEIGHT
	3 GANG (6 OUTLETS) W/ USB - SEE PLAN FOR HEIGHT
	J-BOX
	GROUND FAULT INTERRUPT OUTLET
	TERMINATION FOR SPEAKER WIRE
	RECESSED MEDIA PLATE WITH DUPLEX OUTLET
	(2) INTEGRAL USB PORTS

- POWER PLAN KEYNOTES
1. LOCATION OF NEW ELECTRICAL PANEL. GC TO CONFIRM LL HAS PROVIDED NEW METER AND CONDUIT FROM METER TO TENANT SPACE. GC TO PROVIDE LINE ITEM COST IF REQUIRED

2. PROVIDE ROOF GFI/WATERPROOF OUTLET WITHIN 25' OF EXISTING AC UNIT

3. J-BOX FOR TENANT SIGN, VERIFY LOCATION. PROVIDE POWER AS SHOWN. RUN CIRCUIT THROUGH TIMECLOCK TO PANEL. LOCATE TIMECLOCK ADJACENT TO TMB

4. POWER SUPPLY FOR THIS RECEPTACLES SHALL BE IN CONDUIT ON THE INSIDE OF THE FURNITURE - SEE WADSWORTH DESIGN DRAWINGS

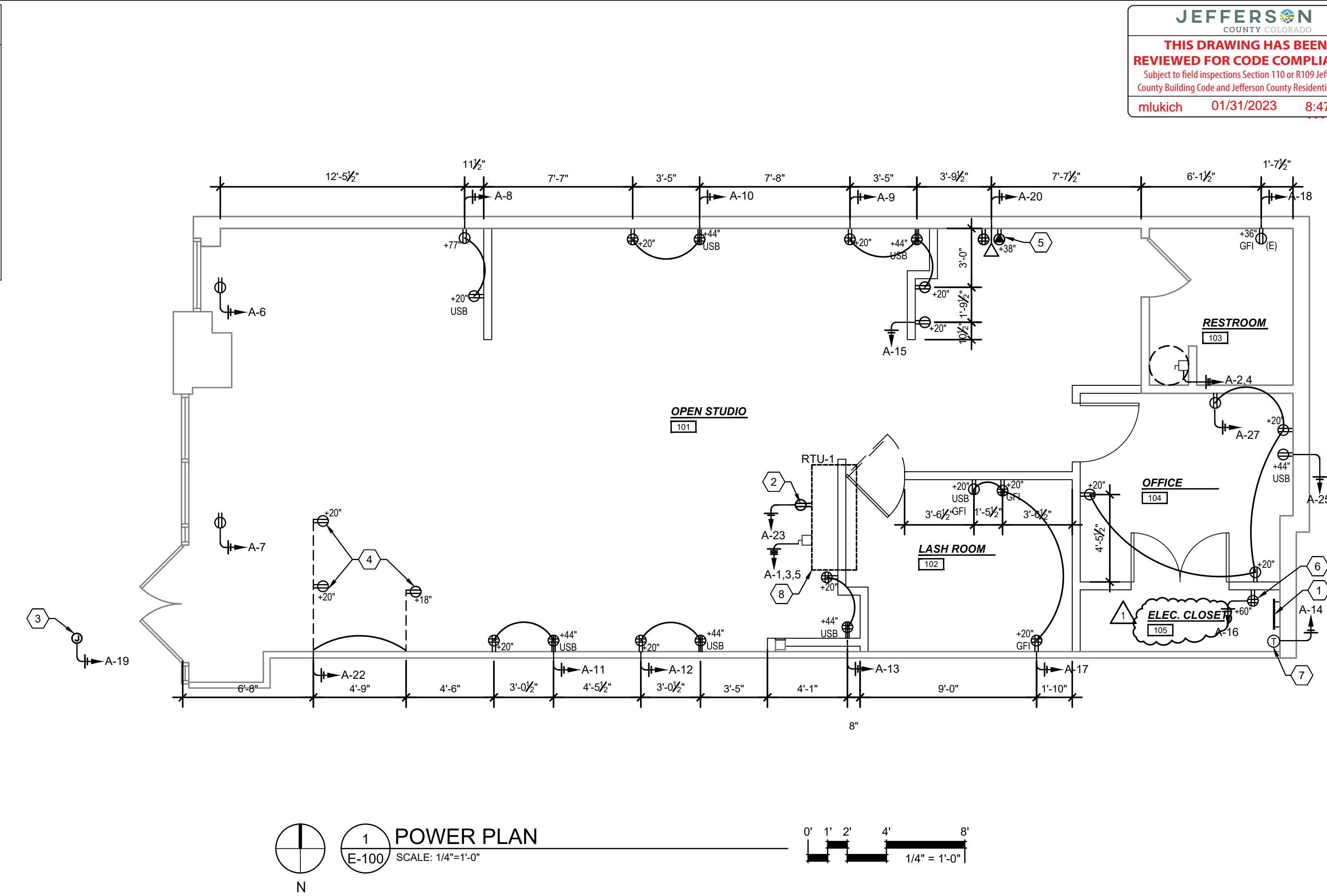
5. OUTLETS AND SPEAKER TERMINATION ARE TO BE LOCATED WITHIN CABINET - SEE WADSWORTH DESIGN DRAWINGS FOR EXACT LOCATION

6. PROVIDE 24" x 48" x 3/4" PLYWOOD WITH #6CU GROUND FOR TELEPHONE MOUNTING BOARD. EXTEND NEW PHONE CONDUIT TO THIS LOCATION. PROVIDE DEDICATED QUAD OUTLET - CONFIRM FINAL HEIGHT

7. PROVIDE DIGITAL TIME CLOCK FOR TENANT SIGN - INSTALL AT 6'-0" AFF, IF ONE DOES NOT EXIST

8. EXISTING MECHANICAL UNIT ON ROOF WITH EXISTING CONNECTION TO PANEL TO REMAIN

9. OUTLETS AT CEILING FOR SHOW WINDOW USE



Proj. Mgr.
KB

Job. Capt.
RB

Drawn by
KB

Rev'd by
RB

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LITTLETON, CO 80123

GENERAL SHEET NOTES

A. SEE ELECTRICAL SPECIFICATIONS FOR IMPORTANT INFORMATION RELATING TO BUILDING CODES, CITY ORDINANCES, MATERIALS AND METHODS.
B. VERIFY LIGHTING, AIR SUPPLY AND AIR RETURN LOCATION WITH CONTRACTOR PRIOR TO INSTALLATION.
C. GC TO VERIFY EXACT LOCATION OF ALL ELECTRICAL EQUIPMENT WITH OWNER PRIOR TO INSTALLATION. GC TO COORDINATE ALL ITEMS WITH WADSWORTH DESIGN DRAWINGS

LIGHTING LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	SINGLE LAMP ADJUSTABLE DOWNLIGHT		2X4 LED TROFFER
	DOUBLE LAMP ADJUSTABLE DOWNLIGHT		EXIT SIGN / COMBINATION EXIT/EMER. LIGHT W/ BATTERY PACK
	RECEPTION PENDANT LIGHT - BOTTOM OF FIXTURE AT 7'-6"		EMERGENCY LIGHT
	CHANDELIER		EXHAUST FAN
	RESTROOM PENDANT LIGHT - BOTTOM OF FIXTURE AT 6'-8"		SUPPLY AIR DIFFUSER
	ONE LAMP DOWNLIGHT		RETURN AIR GRILLE
	QUAD SPEAKER		

E - EXISTING TO REMAIN
R - RELOCATE
D - DEMOLISH
N - NEW

SEE SHEET E-200 FOR LIGHTING SPECIFICATIONS

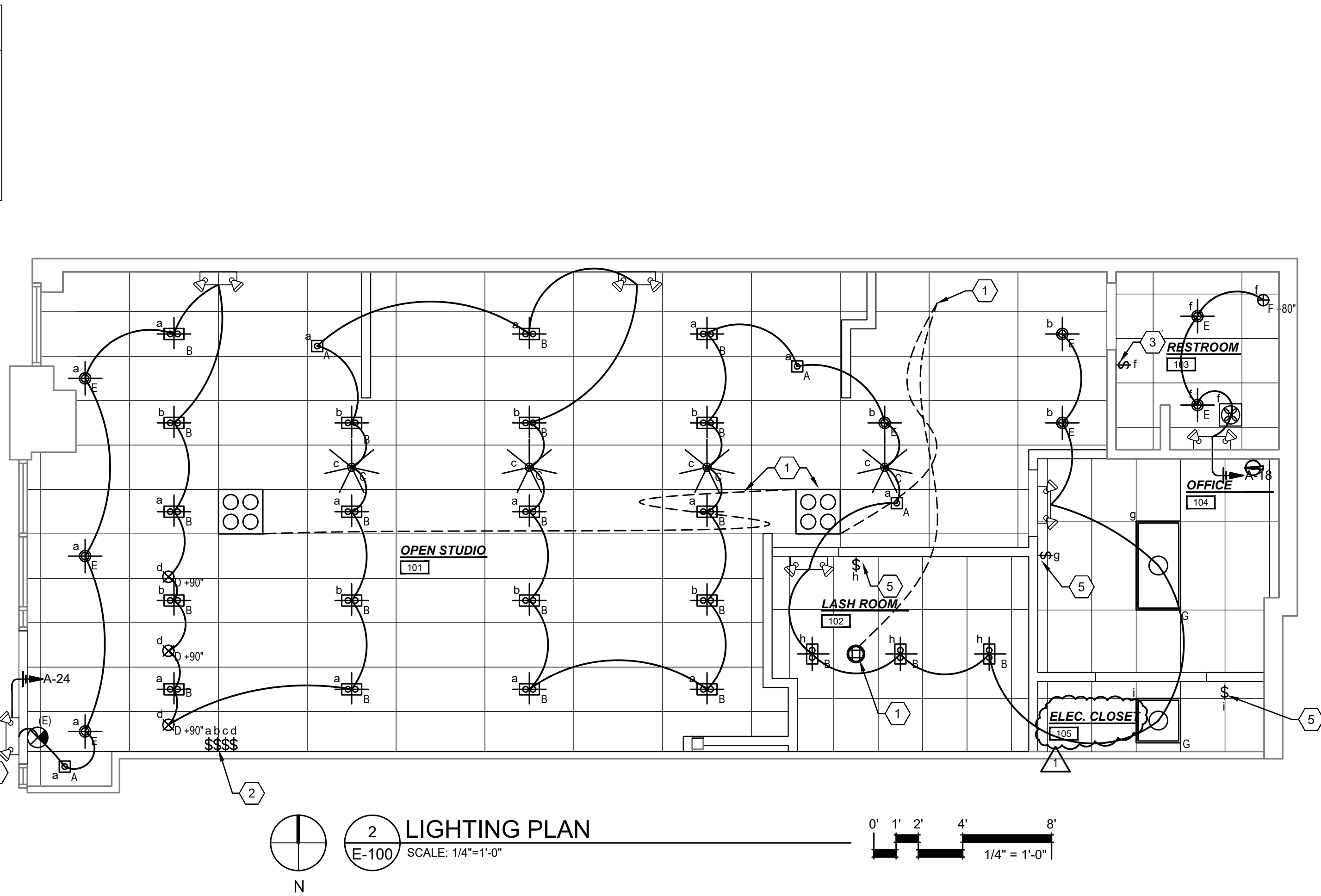
- LIGHTING PLAN KEYNOTES
1. GC SHALL SUPPLY AND INSTALL SPEAKER WIRE FROM SPEAKERS TO THE DATA DROP IN THE CABINET. GC TO VERIFY EXACT LOCATION WITH WADSWORTH DESIGN PLANS AND CUT SHEETS

2. COORDINATE FINAL SWITCH LOCATION WITH ALL WALL MOUNTED POSTERS, FURNITURE AND EQUIPMENT

3. PROVIDE MOTION SENSOR SWITCH IN RESTROOM - TIE IN LIGHTS AND EF-1

4. REMOTE WEATHER-PROOF EMERGENCY FIXTURES MOUNTED ABOVE DOOR ON EXTERIOR. CIRCUIT FROM EXIT SIGN WITH 90 MIN BATTERY

5. PROVIDE MOTION SENSOR SWITCH



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POWER PLAN & LIGHTING PLAN

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22-2408

Sheet No.

E-100

GC TO COORDINATE BUILD-OUT WITH WADSWORTH DESIGN PACKAGE. ANY DISCREPANCIES TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE PM

ELECTRICAL SPECIFICATIONS

1.1 WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AND ALL APPLICABLE RULES, REGULATIONS AND ORDINANCES.

2.1 PROVIDE PROPER GROUNDING FOR ALL EQUIPMENT, RACEWAYS, ETC.

3.1 ALL DISCONNECTS, FIXTURES AND OTHER ELECTRICAL COMPONENTS SUBJECT TO THE WEATHER MUST HAVE WEATHERPROOF ENCLOSURES.

4.1 ALL ROUGH-IN LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR DETERMINING PROPER LOCATION.

5.1 PROVIDE DISCONNECTS, FUSES, OVER CURRENT PROTECTION, CONTROL AND POWER WIRING, CHORDS AND PLUGS TO ALL EQUIPMENT INCLUDED AS PART OF THIS PROJECT, IF REQUIRED FOR PROPER OPERATION BUT NOT PROVIDED BY THE EQUIPMENT MANUFACTURER. EQUIPMENT SHALL INCLUDE ALL HVAC, EXHAUST FANS, HOODS, KITCHEN EQUIPMENT, MEDICAL EQUIPMENT AND ANY SPECIAL EQUIPMENT SHOWN AS A PART OF THE PROJECT.

6.1 CONDUCTORS:

a. USE THW OR THWN #12 MINIMUM, 75° RATING.

b. FOR HOME RUNS OVER 65 FEET, USE ONE SIZE LARGER WIRE.

c. FOR HOME RUNS OVER 115 FEET, USE TWO SIZES LARGER WIRE.

d. ALUMINUM CONDUCTORS ARE NOT ALLOWED.

7.1 CONDUIT:

a. USE RIGID OR EMT AS ALLOWED BY CODE.

b. ALL CONDUITS EXPOSED TO THE ELEMENTS OR BURIED UNDERGROUND SHALL BE WRAPPED WITH SCOTCH 51 TAPE OR EQUAL.

c. MC TYPE PREWIRED FLEXIBLE CABLE SHALL BE PERMITTED IN ALL WALLS AND CEILINGS AS PERMITTED BY CODE AND LOCAL BUILDING OFFICIALS.

8.1 OVER CURRENT PROTECTION:

a. CIRCUIT BREAKERS THAT ARE TO BE USED TO PROTECT LIGHTING CIRCUITS ARE TO BE RATED FOR SWITCHING DUTY.

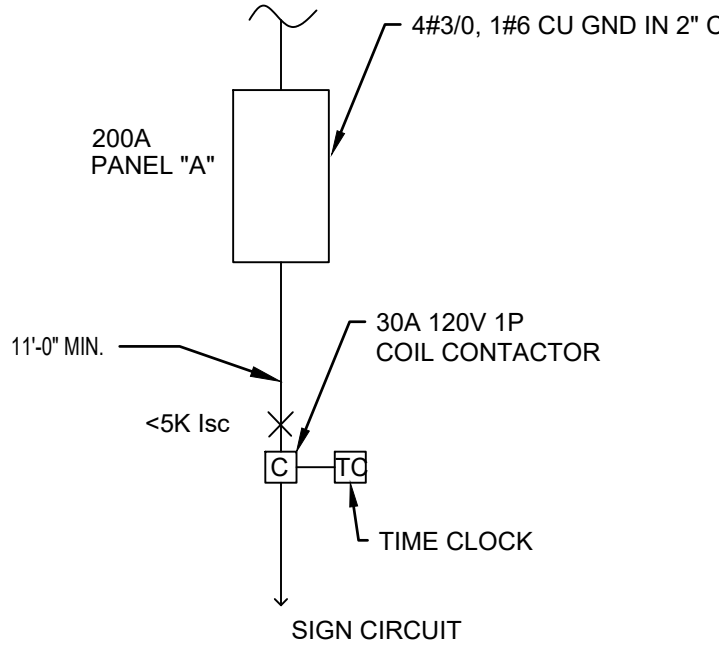
b. PROVIDE LOCK-ON DEVICES FOR NIGHT LIGHT, EMERGENCY AND EXIT LIGHT CIRCUITS.

c. ALL RECEPTACLES AND FIXED EQUIPMENT WITHIN AREA OF WET LOCATION NEED GROUND-FAULT CIRCUIT INTERRUPTER PROTECTION

Panel Schedule 'A'

PANEL A	200 AMP	120/208V 3 PHASE 4W	MAIN LO	NEMA 1	SURFACE MOUNTING
LOCATION: SEE PLAN		TYPE: PLUG ON	BREAKER RATING: AIC 10K		
USE/AREA SERVED	CB	No.	LOAD	No.	CB
RTU-1		60	1 4000	35	1
			2250	2	
		3	4000	4	2
		5	2250	4000	20
		3		1600	6
WINDOW RECEPTACLE		20	7 1600	20	1
			360	8	1
STATION RECEPTACLES		20	9 1080	20	1
			900	10	1
STATION RECEPTACLES		20	11 900	20	1
				900	12
STATION RECEPTACLES		20	13 900	20	1
				14	1
REFRIGERATOR		20	15 1000	20	1
			1000	16	1
LASH ROOM RECEPTACLES		20	17 900	20	1
				1200	18
SIGNAGE		20	19 500	20	1
			540	20	1
OFFICE RECEPTACLES		20	21 900	20	1
			540	22	1
RTU OUTLET		20	23 180	20	1
				960	24
MICROWAVE		20	25 1000	20	1
			0	26	1
OFFICE RECEPTACLE		20	27 1000	20	1
			0	28	1
				0	
				0	30
			31 0		
			0		32
			33 0		
			0		34
			35 0		
			0		36
			37 0		
			0		38
			39 0		
			0		40
			41 0		
			0		42
TOTAL			11330 12670 10640		
PANEL LOAD = 33,640 / (208 X 1.732) = 96.1 AMPS					

* INDICATES CONTINUOUS LOAD AT 125%
** INDICATES LARGEST MOTOR LOAD AT 125%
* INDICATES EXISTING CIRCUIT
L INDICATES LOCK ON DEVICE
T INDICATES CIRCUIT RUN THRU TIMECLOCK
R REUSE EXISTING CIRCUIT



Partial One-Line Diagram

JEFFERSON COUNTY COLORADO
THIS DRAWING HAS BEEN REVIEWED FOR CODE COMPLIANCE
Subject to field inspections Section 110 or R109 Jefferson County Building Code and Jefferson County Residential Code.
mlukich 01/31/2023 8:47:49

LIGHTING SCHEDULE

	TYPES	MANUFACTURER & MODEL #	LAMPS	VOLTAGE	MOUNTING	DESCRIPTION	NOTES
☐	A	SOLAIS XFR-XM20-25C-30K-1100-WH-WH	(1) 12.5 LED	120V	LAY-IN	(1) LAMP ADJUSTABLE	-
☐	B	SOLAIS XFR-XM20-25C-30K-1100-WH-WH	(2) 12.5W LED	120V	LAY-IN	(2) LAMP ADJUSTABLE	-
✱	C	NORA LIGHTING NRS90-P56	6W G25 LED 3000K (100W MED BASE EQUIV)	120V	PENDANT	CHANDELIER CANOPY MOUNTED PENDANT ADAPTOR	PROVIDED BY WADSWORTH INSTALLED BY GC
☒	D	LBL LIGHTING - MATCI C18 PENDANT LP976-WH-SC-LED827	9.5W E26 LED A19	120V	PENDANT	RECEPTION PENDANT	-
⊙	E	AMERLUX - ESSENZA EZ-NC-A17-T-18-120-LE/TE	(1) 18W LED	120V	LAY-IN	(1) LAMP DOWNLIGHT	-
⊕	F	NUVO 60-3951	(1) 13W GU24 FLUORESCENT T2	120V	PENDANT	RESTROOM PENDANT	-
☐☐	G	NORA NPTCB-E24	34W LED	120V	LAY-IN	2x4 LED TROFFER OR 2x2 LED TROFFER OR	-
☐☐	-	QUAD SPEAKER -	-	-	LAY-IN	QUAD SPEAKER -	PROVIDED BY WADSWORTH. GC TO PROVIDE AND INSTALL LOW-VOLTAGE WIRING BACK TO AV SYSTEM IN CABINET
⚡	-	LITHONIA LIGHTING - QUANTUM #ELM	(2) 5.4W KRYPTON LAMPS	120 / 277V	WALL MOUNT	WALL MOUNTED EMERGENCY LIGHT FIXTURE W/ EMERGENCY BATT. PACK (90 MIN.)	
⚡		EXISTING EXIT/EMERGENCY COMBO -	1.5 -	-	CEILING OR WALL MOUNT	EXISTING EXIT SIGN OR MATCH EXISTING OR MATCH BUILDING STANDARD	EXIT SIGNS ARE EXISTING

*NOTE: FRANCHISEE TO PURCHASE LIGHTING PACKAGE FROM WADSWORTH DESIGN. GC TO INSTALL ALL FIXTURES



COMcheck Software Version COMcheckWeb
Interior Lighting Compliance Certificate

Project Information

Energy Code:
Project Title:
Project Type:

2018 IECC
Deka Lash Littleton CO
Alteration

Construction Site:
5746 S Wadsworth Blvd, Suite
#3100
Littleton, Colorado 80123

Owner/Agent:

Designer/Contractor:

Allowed Interior Lighting Power

A Area Category	B Floor Area (ft2)	C Allowed Watts / ft2	D Allowed Watts
1-Eyelash Extensions (Retail-Sales Area)	1288	1.22	1571
		Total Allowed Watts = 1571	

Proposed Interior Lighting Power

Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixture	D Fixture Watt.	E (C X D)
Eyelash Extensions (Retail: Sales Area, 1288 sq.ft.)				
LED: A: Single Adjustable: LED PAR 12W:	1	4	12	48
LED: B: Double Adjustable: LED PAR 12W:	2	22	25	550
LED: C: Chandelier: LED MR 6W:	1	4	6	24
LED: D: Reception Pendant: LED A Lamp 9W:	1	3	10	30
LED: G: 2x2 LED Panel: LED Panel 33W:	1	1	33	33
LED: G: 2x4 LED Panel: LED Panel 33W:	2	1	66	66
LED: E: Downlight: LED PAR 18W:	1	8	18	144
Compact Fluorescent: F: Restroom Pendant: Twin Tube 13W: Electronic:	1	1	13	13
		Total Proposed Watts =		908

Interior Lighting PASSES

Interior Lighting Compliance Statement

Compliance Statement: The proposed interior lighting alteration project represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed interior lighting systems have been designed to meet the 2018 IECC requirements in COMcheck Version COMcheckWeb and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

Name - Title Signature Date

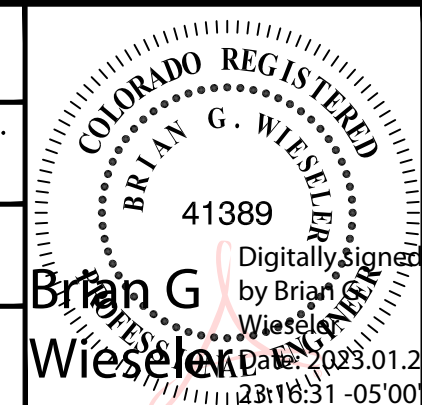
Project Title: Deka Lash Littleton CO Report date: 01/18/23
Data filename: Page 1 of 5

Proj. Mgr.
KB

Job. Capt.
RB

Drawn by
KB

Rev'd by
RB



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Revisions

1	BUILDING COMMENTS 01.23.23

dekalash

5746 S WADSWORTH BLVD, SUITE #3100
LITTLETON, CO 80123

BARR ARCHITECTURE, INC.

The Design-Build Team

architects • general contractors

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architecture • construction management • planning • interiors

Sheet Title:

ELECTRICAL
SCHEDULES &
ONE-LINE DIAGRAM

Scale:

NOTED

Date:

10.28.22

Project No.

22-2408

Sheet No.

10.28.22

Project No.

22-2408

E-200