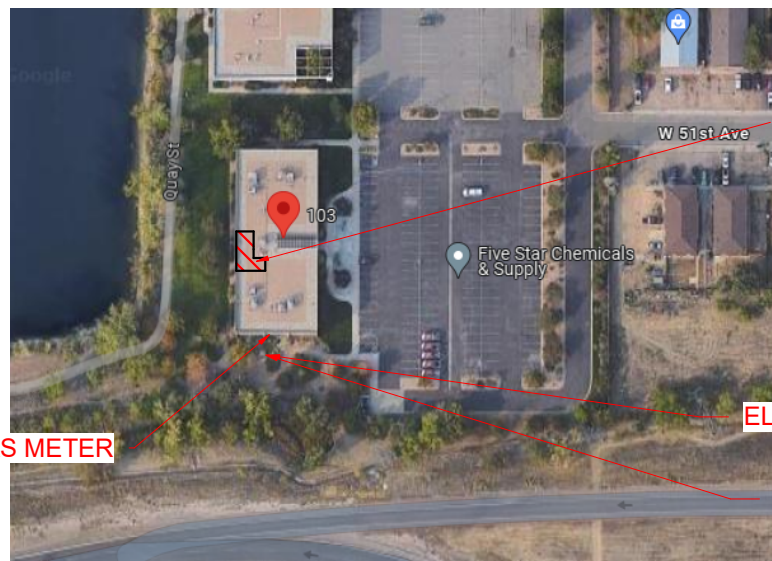


SITE PLAN



LEASE SPACE

ELECTRICAL METER

GAS METER

PAD-MOUNTED TRANSFORMER

1 AERIAL VIEW
N.T.S.

BUILDING INFORMATION

CONSTRUCTION TYPE: BRICK EXTERIOR WITH REINFORCED CONCRETE
OF FLOORS: MULTI-STORY EDJ ON LEVEL 1
FIRE PROTECTION: SPRINKLERED
OCCUPANCY USE GROUP: B-BUSINESS

CONSTRUCTION SCHEDULE: CONFIRM WITH LLD
BUILDING RULES / REGULATIONS: CONFIRM WITH LLD

EXTERIOR SIGNAGE PERMIT REQ'D / ASBESTOS REPORT REQ'D / ENERGY COMPLIANCE REPORT REQ'D

PLAN NORTH VS TRUE NORTH

PLAN NORTH IS BASED ON THE PREDOMINANT AXIS OF THE BUILDING GEOMETRY. FOR THIS PROJECT, PLAN NORTH POINTS TOWARDS THE TOP OF THE DRAWING AREA. ALL VIEWS IN THIS DRAWING SET USE PLAN NORTH AS ITS ORIENTATION.

TRUE NORTH IS THE REAL-WORLD NORTH DIRECTION BASED ON SITE CONDITIONS. TRUE NORTH INFORMATION IS NOT USED OR PROVIDED FOR THESE DOCUMENTS.

EXTERIOR SIGN CIRCUIT INSTALLATION INSTRUCTIONS

GENERAL CONTRACTOR (GC) TO VERIFY EXISTENCE AND FUNCTIONALITY OF SIGN CIRCUIT ALONG SIGN BAND SERVING SUBJECT SPACE. EXISTING CIRCUIT MUST BE LOCATED IN/ON THE SIGN BAN ABOVE THE SUBJECT SPACE AND WITHIN SIX FEET (6') OF THE CENTERLINE OF THE SPACE. THE CIRCUIT SHOULD BE A DIRECT FEED FROM THE ELECTRICAL PANEL WITHIN THE TENANT SPACE AND BE FED THROUGH A PHOTOCELL. SHOULD THE CIRCUIT NOT EXIST AND/OR BE DEEMED NONFUNCTIONAL, GC TO PROVIDE INSTALLATION OF NEW DEDICATED SIGN CIRCUIT, PHOTOCELL AND JUNCTION BOX TO BE MOUNTED WITHIN THE SIGN BAND NO MORE THAN SIX FEET (6') FROM THE CENTERLINE OF THE SUBJECT SPACE. COST FOR INSTALLATION OF THE CIRCUIT, JUNCTION BOX AND PHOTOCELL TO BE INCLUDED IN THE BASE ELECTRICAL BID FOR THE PROJECT AS WELL AS FINAL CONNECTION OF SIGN BY ELECTRICIAN IF REQUIRED BY CODE. EXTERIOR SIGNAGE TO BE PROVIDED AND INSTALLED BY TENANT'S SIGN CONTRACTOR (UNDER A SEPARATE PERMIT) GENERAL CONTRACTOR TO COORDINATE ELECTRICAL REQUIREMENTS WITH SIGN VENDOR.

Edward Jones

BRANCH REAL ESTATE

BRANCH OFFICE: 41843

**6850 W 52ND AVE., SUITE 103,
ARVADA, CO 80002-3955**

PROJECT CONTACT INFORMATION

LEASING MANAGER

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EDJ LOGO CONTACT:

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BRAND WALL REVEAL CONTACT:

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LIGHTING CONTACT:

VILLA LIGHTING - HEATHER WILKS
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WINDOW TREATMENT CONTACT:

BUDGET BLINDS - KEY ACCOUNT
COURTNEY HEATON p: 949.404.1148, ANGELA CARSWELL p: 949.404.1140
e: EDWARDJONES@BBCOMMERCIALSOLUTIONS.COM

GENERAL NOTES

- ALL ITEMS TO BE COMPLETED PER EDWARD JONES SPECIFICATIONS U.N.O.
- CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS; IF THERE ARE ANY CHANGES, REVISIONS, OR DISCREPANCIES, CONTACT CONSTRUCTION MANAGER.
- EXISTING AND NEW PARTITION DIMENSION MAX. TOLERANCE IS 4" UNLESS NOTED AS HOLD.
- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, PROVINCIAL, NATIONAL, AND ALL OTHER APPLICABLE BUILDING CODES.
- ALL NEW CONSTRUCTION AND MODIFICATIONS SHALL FULLY COMPLY WITH ADA AND BUILDING CODE ACCESSIBILITY REQUIREMENTS.
- CONTRACTOR TO CONTACT CITY TO DETERMINE IF CHANGES ARE NEEDED TO COMPLY WITH ALL LOCAL, STATE, PROVINCIAL, AND/OR NATIONAL CODES, INCLUDING FIRE MARSHALL FOR SPRINKLER AND ALARM SYSTEMS. NOTIFY CONSTRUCTION MANAGER IF ANY DISCREPANCIES ARE FOUND OR REVISIONS ARE NEEDED.
- CONTRACTOR MUST SATISFY ALL LANDLORD REQUIREMENTS AND ALL WORK IDENTIFIED ON TENANT'S FINAL PUNCH LIST

TABLE OF CONTENTS

- COVER SHEET
- DEMO PLAN
- PARTITION PLAN
- FINISH PLAN
- FURNITURE / EDJ EQUIPMENT PLAN
- ELEVATIONS + DETAILS
- REFLECTED CEILING PLAN
- FINISH SPECIFICATIONS
- FINISH SPECIFICATIONS
- FINISH SPECIFICATIONS

LEGEND

E	EXISTING		DUPLEX RECEPTACLE
L	LANDLORD'S RESPONSIBILITY		QUADRUPLEX RECEPTACLE
	ELEVATION TAG (IF APPLICABLE)		DEDICATED SIMPLEX RECEPTACLE TO BE MARKED WITH "D" & ORANGE
	VIEW NUMBER ON SHEET		GFI DUPLEX RECEPTACLE
	DEMO PARTITION		RECESSED DUPLEX RECEPTACLE
	EXIST. PARTITION		ELECTRICAL PANEL
	EXIST. DEMISING PARTITION		SINGLE GANG PHONE/ DATA BOX
	NEW PARTITION		DOUBLE GANG PHONE/ DATA BOX
	NEW PARTITION/ INSUL.		SINGLE GANG BOX FOR AV CABLE PASS-THRUS (AV CABLING TO BE PROVIDED BY FINANCIAL ADVISOR)
	NEW DEMISING PARTITION		SWITCH
	HEADER		3-WAY SWITCH
	EXISTING DOOR		THERMOSTAT LOCATION
	NEW DOOR		FIRE EXTINGUISHER
	WATER HEATER		EXIT/EMERGENCY COMBO
	WATER COOLER (TO BE PROVIDED BY FINANCIAL ADVISOR)		EXIT/EMERGENCY LIGHT
	FURNACE		SMOKE DETECTOR

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
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****DO NOT SCALE DRAWINGS****

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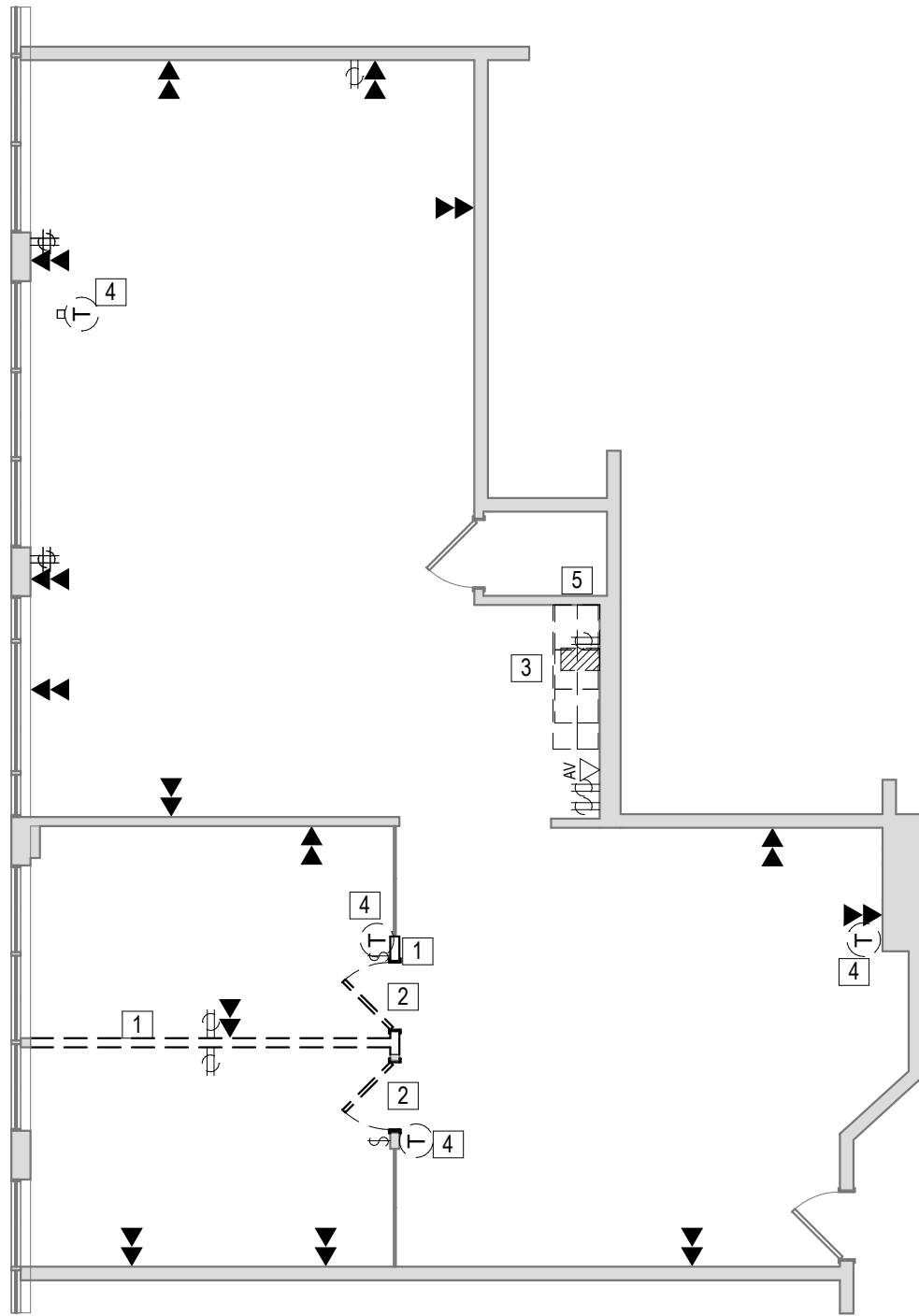
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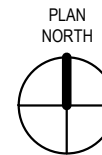
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DATE: 2024.04.19

EXHIBIT A
COVER SHEET



1 DEMOLITION PLAN
1/8" = 1'-0"



DEMOLITION PLAN NOTES

GENERAL NOTES

1. DEMO ALL ABANDONED PIPING & VOICE/DATA WIRING THROUGHOUT.
2. DEMO ALL ELECTRICAL / DATA RECEPTACLES SHOWN ON PLAN, AND EXISTING OUTLETS ABOVE 18" AFF. PATCH & REPAIR PARTITIONS / SURFACES TO ACCEPT NEW FINISHES.
3. DEMO EXISTING FLOORING, FLOORING ADHESIVES, & WALL BASE THROUGHOUT. REPAIR / PREP SUBFLOOR AND WALLS AS NEEDED TO ACCEPT NEW FINISHES.
4. DEMO ALL EXISTING MOTION DETECTORS, CEILING MOUNTED BLANK PLATES AND REMOTE TEST SWITCHES THROUGHOUT.
5. DEMO ALL EXISTING WINDOW BLINDS/TREATMENTS THROUGHOUT. PATCH / REPAIR WALLS AS NEEDED.
6. EXISTING CEILING AND LIGHTING TO REMAIN THROUGHOUT. SEE RCP ON PAGE 7 FOR SCOPE OF WORK.

KEYED NOTES

1. REMOVE EXISTING DRYWALL PARTITIONS AS SHOWN. PATCH AND REPAIR ADJACENT SURFACES AS NEEDED.
2. REMOVE EXISTING DOOR & FRAME; SALVAGE EXISTING DOOR AND FRAME AND RELOCATE AS SHOWN ON PARTITION PLAN ON SHEET 3.
3. REMOVE EXISTING BUILT-IN ENTIRELY. PATCH/REPAIR ADJACENT SURFACES AS NEEDED.
4. REMOVE EXISTING THERMOSTAT. PATCH/REPAIR ADJACENT SURFACES AS NEEDED.
5. REMOVE EXISTING WIRE PASS THROUGH. PATCH/REPAIR ADJACENT SURFACES AS NEEDED.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

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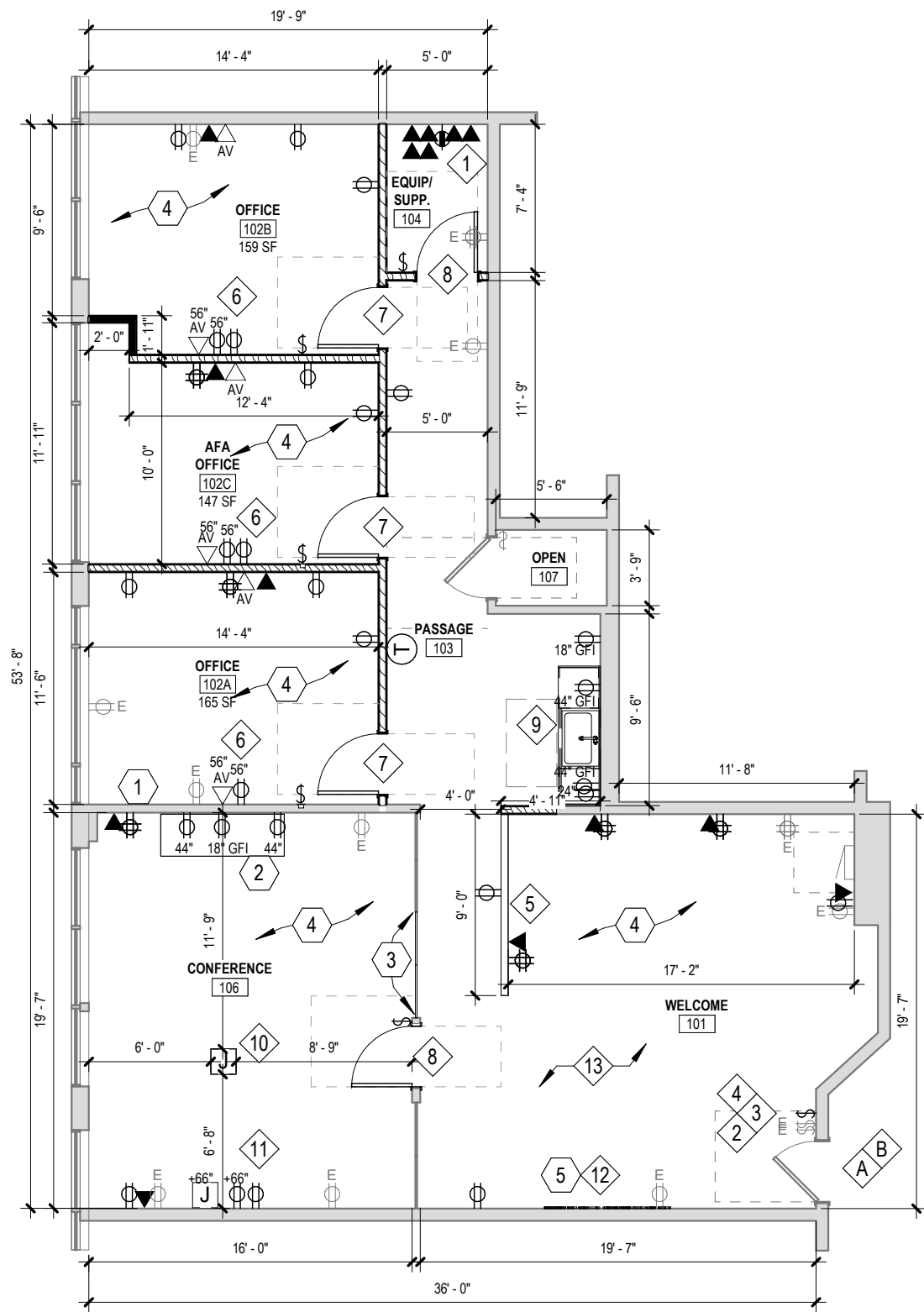
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Edward Jones
BRANCH REAL ESTATE
BRANCH OFFICE: 41843

DATE: 2024.04.19

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EXHIBIT A
DEMO PLAN



1 PARTITION PLAN
1/8" = 1'-0"

****BRANCH TO BE LOW-VOLTAGE PREWIRED**
REFER TO SPEC SHEET 10 FOR MORE DETAIL**



PARTITION PLAN NOTES

LANDLORD SCOPE KEYED NOTES (X)

FOR REFERENCE IN LEASE AGREEMENT (- NOT TO BE INCLUDED IN GC'S SCOPE)

LANDLORD TO COMPLETE ALL INDICATED SCOPE OF WORK PRIOR TO DELIVERY OF SPACE OR ACCORDING TO LEASE TERMS. LANDLORD TO ENSURE ALL COMPLETED WORK IS DONE TO MEET ADA AND BUILDING CODE REQUIREMENTS.

- A. MODIFY EXISTING COMMON AREA RESTROOM TO MEET ALL ADA AND BUILDING CODE STANDARDS FOR ACCESSIBILITY. MODIFICATIONS INCLUDE, BUT ARE NOT LIMITED TO:
 - INSTALL NEW ADA COMPLIANT VERTICAL GRAB BARS AT APPROPRIATE ACCESSIBLE HEIGHTS AND DIMENSIONS (CURRENTLY NONE EXISTING IN EITHER MEN'S OR WOMEN'S RESTROOM).
 - RELOCATE EXISTING REAR WALL HORIZONTAL GRAB BAR TO APPROPRIATE ACCESSIBLE HEIGHT AND DIMENSIONS (CURRENTLY AT 12" FROM THE REAR WALL IN BOTH MEN'S AND WOMEN'S RESTROOM.)
- B. SWITCH EXISTING FLUSHER TO OUTSIDE OF TOILET. CURRENTLY IN MENS RESTROOM IT IS CLOSEST TO THE WALL.

KEYED NOTES (X)

1. GC TO INSTALL DEDICATED OUTLET, ALL DATA GANG BOXES, AND PHONE BOARD PER DETAIL ON SHEET 10, FOR NEW BOC LOCATION. (PHONE COMPANY SERVICE WITH 3/4" CONDUIT TO BE INSTALLED BETWEEN BUILDING SOURCE (DEMARC) AND BOC LOCATION, PER SPECS AND DETAIL ON SHEET 10, ON FIRST DAY OF CONSTRUCTION.) **EMAIL PHOTO TO CONSTRUCTION MANAGER TO CONFIRM WORK ASAP.**
2. INSTALL DOOR CHIME AT ENTRY DOOR. CHIME TO BE LOCATED IN 103.
3. INSTALL THUMBTURN LOCKSET ON ENTRY DOOR. IF LOCAL CODE WILL NOT ALLOW, REFER TO SPECIFICATIONS FOR ALTERNATE.
4. INSTALL GLASS INSERT IN EXISTING ENTRY DOOR TO MEET BUILDING STANDARD & ALL LOCAL FIRE CODES.
5. CONSTRUCT 42" HIGH PARTITION WITH PAINTED WHITE WOOD CAP; PREP PARTITIONS FOR FINISHES PER FINISH SCHEDULE.
6. INSTALL OUTLETS AND SINGLE GANG BOXES AS SHOWN FOR FUTURE, FA-PROVIDED, WALL-MOUNTED TV. REFER TO PLAN AND TYPICAL DETAIL ON SHEET 6 FOR RECEPTACLE HEIGHTS, LOCATIONS, AND ADDITIONAL INFO FOR PULL-STRINGS AND BLOCKING IN WALL. FA TO SUPPLY AND INSTALL TV, TV WALL MOUNT, AND AV CABLING BETWEEN TV AND CPU.
7. INSTALL NEW 3'-0" SOLID CORE WOOD DOOR WITH FULL GLASS INSERT AS SHOWN TO MATCH EXISTING.
8. RELOCATE EXISTING DOOR AND FRAME AS SHOWN. ENSURE DOOR IS IN GOOD CONDITION; CLEAN OR REPAIR TO LIKE-NEW CONDITION AS NEEDED.
9. INSTALL KITCHENETTE AS SHOWN WITH BLACK HARDWARE. REFER TO SHEET 6 FOR ELEVATION AND MORE DETAILS.
10. INSTALL FLOOR MOUNTED JUNCTION BOX. REFER TO CONFERENCE ROOM DETAILS ON SHEET 6.
11. INSTALL ALL POWER AND DATA FOR WALL-MOUNTED CONFERENCE ROOM TV. REFER TO DETAILS ON SHEET 6.
12. ORDER AND INSTALL EDJ LOGO. REFER TO SHEET 4 FOR SPECIFICATIONS AND ORDERING INSTRUCTIONS.
13. WHITE NOISE SYSTEM TO BE INSTALLED THROUGHOUT SPACE AS SHOWN ON PLAN; TO BE COORDINATED WITH CONSTRUCTION MANAGER. COLOR AND SYSTEM TBD.

ALTERNATE KEYED NOTES (X)

GC TO PROVIDE SEPARATE, BROKEN-OUT COST IN BID FOR ALTERNATES LISTED BELOW.

1. INSTALL/BLOW-IN INSULATION IF NOT IN PLACE. PATCH, REPAIR, & PREP PARTITIONS AS NEEDED FOR NEW FINISHES.
2. INSTALL COFFEE BAR AS SHOWN. REFER TO SHEET 6 FOR ELEVATION AND MORE DETAILS. ALTERNATE COST TO INCLUDE ELECTRICAL SHOWN. CONFIRM WITH CM FOR FINAL FINISH SELECTIONS.
3. INSTALL 5'-3" GLASS PARTITION TO MATCH EXISTING. INSTALL FROSTED GLASS PRIVACY FILM ON MIDDLE PORTION OF ALL GLASS PARTITIONS FOR PRIVACY.
4. INSTALL WOOD BASE THROUGHOUT SPACE.
5. INSTALL FAUX STONE FOR EDJ LOGO WALL. GC TO CONTACT CM FOR SPECIFICATIONS.

GENERAL NOTES

GENERAL CONDITIONS

1. LANDLORD TO DELIVER THE SPACE IN TURNKEY CONDITION.
2. SCOPE OF WORK SPECIFICALLY NOTED ON SHEETS 1-7 TO SUPERCEDE GENERAL SPECIFICATIONS ON SHEETS 8-10. CONTACT CONSTRUCTION MANAGER OF ANY DISCREPANCIES.
3. ANY EXISTING, REMAINING ELEMENTS IN TENANT SUITE DOORS, WINDOW TREATMENTS, FIXTURES, ETC. TO BE PROTECTED DURING CONSTRUCTION AND CLEANED TO LIKE-NEW CONDITION PRIOR TO DELIVERY OF SPACE.

CONCRETE / SUBFLOOR

1. ROUTE NEW PLUMBING AS NEEDED PER PLANS, PREP SUBFLOOR FOR NEW FINISHES.

THERMAL / MOISTURE PROTECTION

1. INSTALL 4" LAY-IN BATT INSULATION ABOVE ACOUSTICAL CEILING AT ROOMS 102A, 102B, 102C, AND 106.

PARTITIONS

1. VERIFY LOCATION OF ALL EXISTING DEMISING PARTITIONS. VERIFY THEY EXTEND TO THE DECK & ARE INSULATED; EXTEND & ADD INSULATION AS REQUIRED.
2. PATCH / REPAIR & PREP EXISTING PARTITIONS AS NEEDED FOR NEW FINISHES. ENSURE ALL PARTITIONS MATCH IN TEXTURE.

DOORS / WINDOWS

1. RELOCATE OR INSTALL NEW 3'-0" SOLID CORE DOORS TO MATCH EXISTING AS SHOWN ON PLAN AND IN KEYED NOTES.
2. INSTALL NEW ACCESSIBLE, LEVER-STYLE HARDWARE ON ALL DOORS THROUGHOUT SPACE; ALL NEW HARDWARE AND HINGES TO BE BLACK.
3. PROVIDE & INSTALL STOREROOM LOCKSET AT 104.
4. ENSURE EXISTING WINDOW FRAMES ARE IN GOOD CONDITION THROUGHOUT, REPAIR / TOUCH UP PAINT AS NEEDED.
5. PROVIDE & INSTALL NEW MANUAL ROLLER SHADES, WITH MATCHING FASCIA, ON ALL EXTERIOR WINDOWS. SEE FINISH SCHEDULE ON SHEET 4 FOR SPECS.

CEILING / FINISHES

1. REFER TO REFLECTED CEILING PLAN ON SHEET 7 FOR CEILING SCOPE OF WORK.
2. REFER TO FINISH PLAN AND SCHEDULE ON SHEET 4 FOR FINISH SCOPE OF WORK.

CASEWORK

1. INSTALL NEW CASEWORK AS SHOWN ON PLAN AND IN KEYED NOTES.

MECHANICAL

1. INSTALL/RELOCATE SUPPLY & RETURN GRILLES, INCLUDING DUCTWORK, AS REQUIRED FOR COMPLETE & BALANCED WORKING SYSTEM AND TO ACHIEVE ONE SUPPLY & ONE RETURN AT MINIMUM IN EACH ROOM.
2. CLEAN & CHECK EXISTING HVAC UNIT AND SUPPLY/RETURN GRILLES THROUGHOUT. REPLACE ANY DISCOLORED OR NON-WHITE GRILLES WITH NEW WHITE GRILLES THROUGHOUT.
3. PROVIDE & INSTALL NEW, DIGITAL PROGRAMMABLE THERMOSTAT IN PASSAGE 103 AS SHOWN ON PLAN.

ELECTRICAL

1. BRANCH TO BE LOW VOLTAGE PREWIRED PER LOCAL CODES.
2. EXISTING ELECTRICAL PANEL TO REMAIN. VERIFY PANEL MEETS EDJ SPECS ON SHEET 10; UPGRADE OR ADD SUB-PANEL AS REQUIRED. PAINT EP TO MATCH PARTITION.
3. INSTALL NEW ELEC RECEPTACLES PER PLAN. ALL RECEPTACLES & FACEPLATES TO BE WHITE.
4. REFER TO REFLECTED CEILING PLAN ON SHEET 7 FOR LIGHTING SCOPE OF WORK.

PLUMBING / RESTROOM

1. INSTALL NEW PLUMBING AT NEW KITCHENETTE AND FA PROVIDED FRIDGE FOR ICE MAKER AS SHOWN, AND CONNECT TO TENANT HOT WATER SERVICE OR INSTALL DEDICATED INSTA-HOT UNIT AS REQUIRED.

FIRE PROTECTION

1. MODIFY EXISTING SPRINKLER SYSTEM / FIRE ALARMS AS REQUIRED BY LOCAL CODES.
2. PROVIDE & INSTALL FIRE EXTINGUISHER IN BRANCH AS REQUIRED BY LOCAL CODES.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

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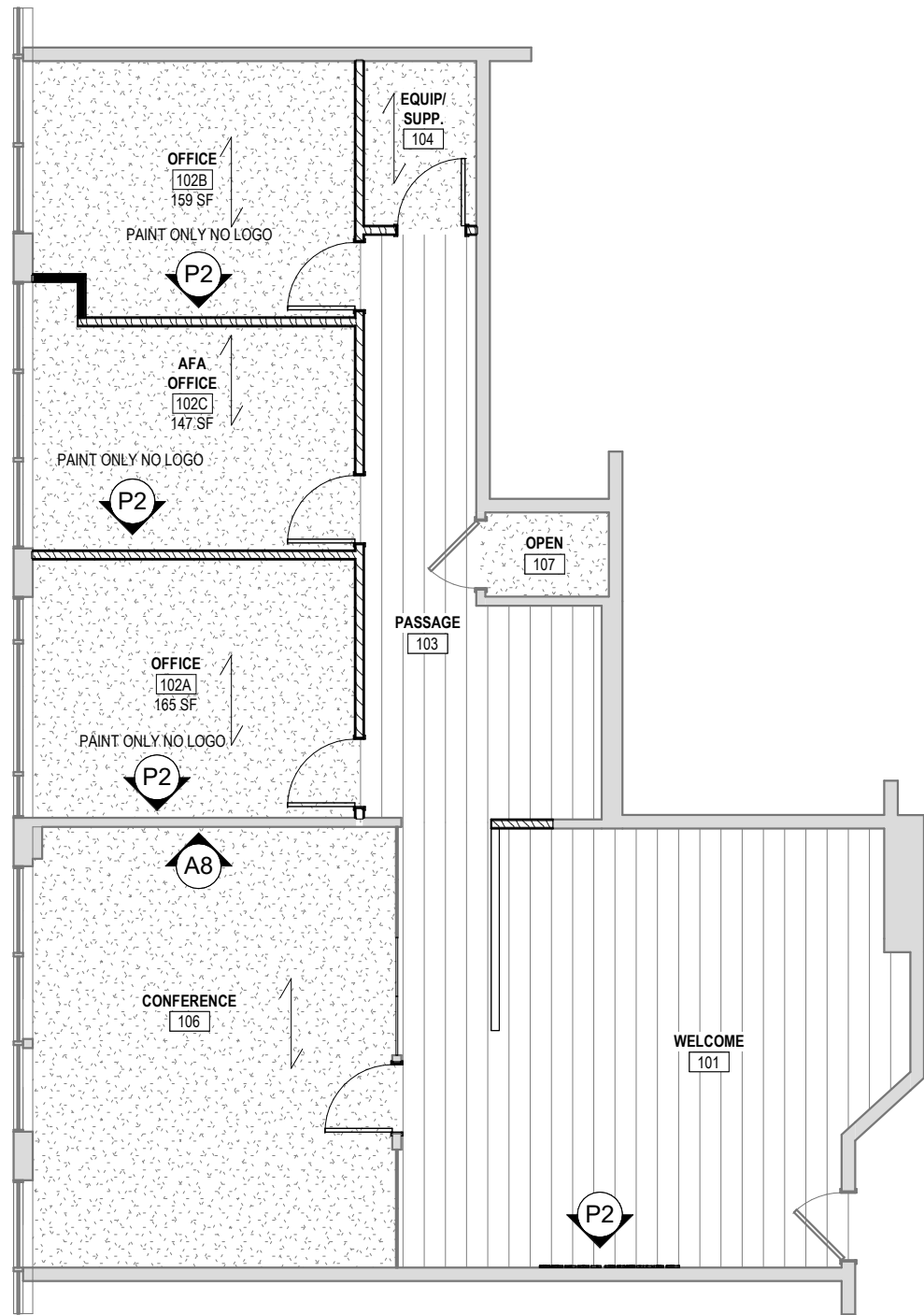
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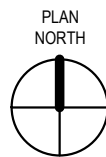
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EXHIBIT A
PARTITION PLAN



1 FINISH PLAN
1/8" = 1'-0"



FINISH PLAN NOTES

KEYED NOTES

- Ax** WALL TO BE PAINTED WITH ACCENT COLOR SHOWN ON PLAN, SEE **FINISH SPECIFICATIONS** FOR ACCENT WALL COLOR CODE.
- P2** WALL TO BE PAINTED WITH ACCENT COLOR P2, AND EDJ LOGO INSTALLED.
 - ORDER & INSTALL EDJ LOGO (LETTER KIT W/ PUSH PINS ON BACK). SEE SPECIFICATIONS SHEET 10 FOR INSTALLATION AND ORDERING INSTRUCTIONS.

ROOM FINISH SCHEDULE

RM. NO.	PAINT	ACCENT	FLOORING	BASE	DOOR PANEL	DOOR FRAME	CEILING	NOTES
101	A5	P2	LVT1	B1	EXIST	EXIST	EXIST	SEE NOTE "P2"
102A	A5	P2	CPT1	B1	MATCH	MATCH	EXIST	SEE NOTE "AX"
102B	A5	P2	CPT1	B1	MATCH	MATCH	EXIST	SEE NOTE "AX"
102C	A5	P2	CPT1	B1	MATCH	MATCH	EXIST	SEE NOTE "AX"
103	A5		LVT1	B1			EXIST	
104	A5		CPT1	B1	RELO	RELO	EXIST	
106	A5	A8	CPT1	B1	RELO	RELO	EXIST	SEE NOTE "AX"
107	A5		CPT1	B1	EXIST	EXIST	EXIST	

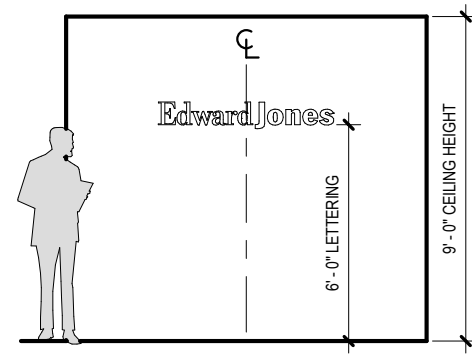
FLOOR PATTERN LEGEND / KEY

- EXIST = EXISTING TO REMAIN
 MATCH = NEW TO MATCH EXISTING
 BLDG STND = BUILDING STANDARD APPLIES
 RELO = RELOCATED
- CARPET TILE
 - LUXURY VINYL TILE
 - EXISTING TO REMAIN
 - MATCH EXISTING
 - BUILDING STANDARD
 - NOT IN CONTRACT
- FLOOR PATTERN DIRECTION SYMBOL *SEE PLAN

FINISH SPECIFICATIONS | TRUSTED PALETTE

- WALLS**
- A5** ACCENT WALL PAINT
MFR: SHERWIN WILLIAMS
COLOR: SW 7065 ARGOS
 - P2** BRAND WALL PAINT
MFR: SHERWIN WILLIAMS
COLOR: SW 7075 WEB GRAY
 - A8** ACCENT WALL PAINT
MFR: SHERWIN WILLIAMS
COLOR: SW 6244 NAVAL
- WINDOW TREATMENT**
- WT-2** WINDOW TREATMENT
STYLE: MANUAL ROLLER SHADE
COLOR: RESOLUTE
OPENNESS: 3%
- DOOR PANELS**
- EXIST** EXISTING TO REMAIN
 - MATCH** MATCH EXISTING DOOR TYPE: TO MATCH EXISTING STYLE, TO BE PAINTED/STAINED
COLOR: TO MATCH EXISTING
 - RELO** EXISTING TO BE RELOCATED, NO NEW FINISH
- GENERAL NOTES:**
- INSTALL SCHLUTER TRANSITION STRIPS BETWEEN DISSIMILAR FLOORS.
 - REFER TO SPEC SHEETS FOR MORE INFO ON FINISH AND DOOR SPECS.
- FLOORING**
- CPT1** GENERAL CARPET TILE
MFR: INTERFACE
STYLE: EJ BOUCLE
COLOR: 189214
SIZE: 25CM X 1M
INSTALL: ASHLAR
 - LVT1** LUXURY VINYL TILE
MFR: INTERFACE
STYLE: NATURAL WOODGRAINS
COLOR: A00204 BEECH
SIZE: 25CM X 1M
INSTALL: ASHLAR
- WALL BASE**
- B1** VINYL WALL BASE
MFR: TARKETT
STYLE: 4" COVE BASE
COLOR: 63 BURNT UMBER
- DOOR FRAMES**
- MATCH** MATCH EXISTING DOOR FRAMES TO BE PAINTED/STAINED
COLOR: TO MATCH EXISTING
 - RELO** EXISTING TO BE RELOCATED, NO NEW FINISH
 - EXIST** EXISTING TO REMAIN

SIGNAGE ELEVATION



P2 REFER TO KEYED NOTE ABOVE

**LOGO TO BE CENTERED ON WALL, U.N.O. ON PLAN. GC TO ENSURE NO OBSTRUCTIONS ON LOGO WALL (FIRE STROBES, OUTLETS, FIRE EXTINGUISHERS, ETC).

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

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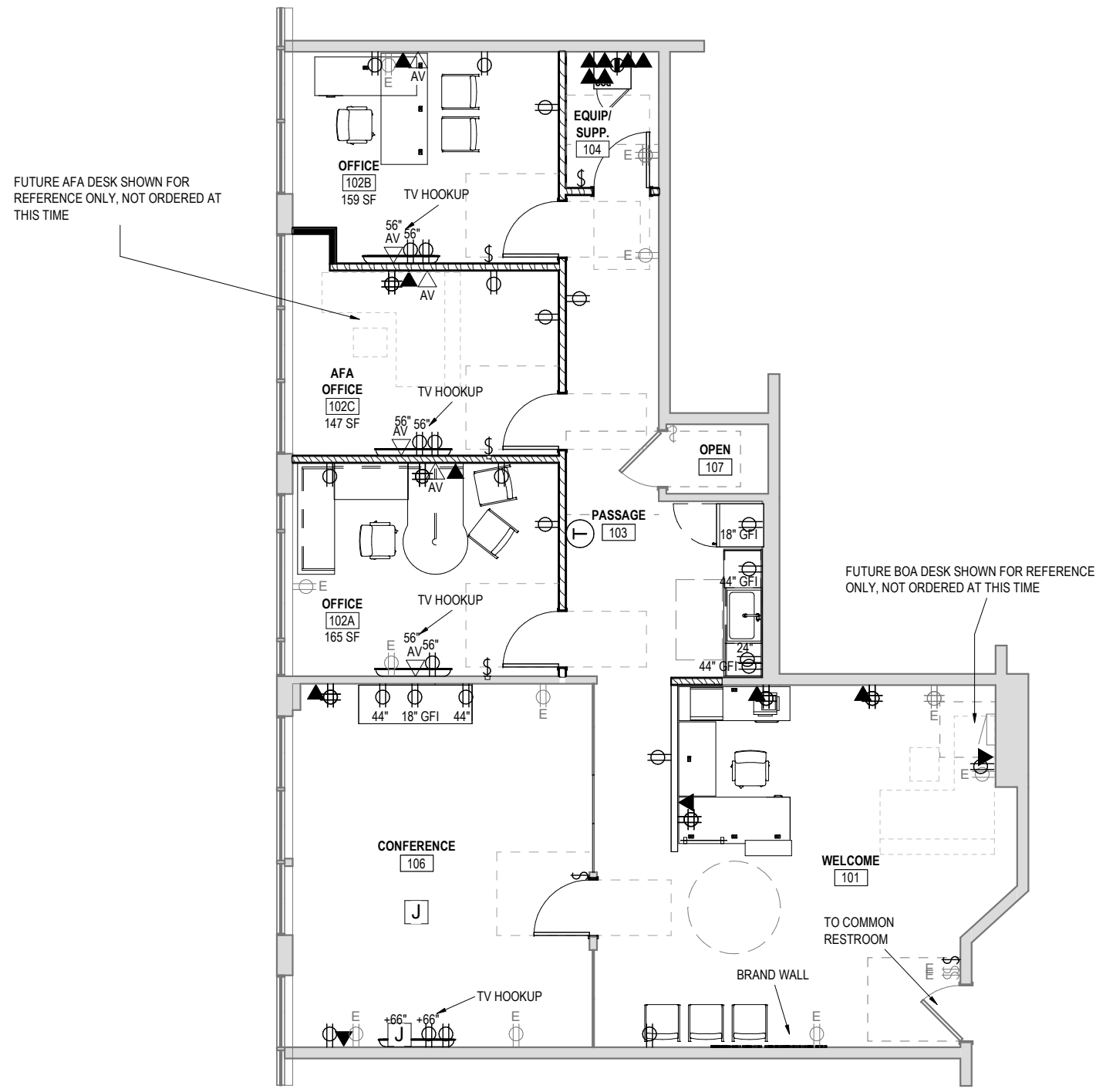
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BRANCH REAL ESTATE

BRANCH OFFICE: 41843

DATE: 2024.04.19

SQUARE FOOTAGE: 1492 USF | TBD RSF

EXHIBIT A
FINISH PLAN



1 FURNITURE / EDJ EQUIP. PLAN
1/8" = 1'-0"



FURNITURE PLAN NOTES

EQUIPMENT LEGEND

****EQUIPMENT SUPPLIED & INSTALLED BY EDWARD JONES**

- LASER PRINTER
- COPIER/FAX/SCANNER
- BOC (BRANCH OFFICE CONTROLLER)
- *PHONE SYSTEM*

GENERAL NOTES

1. REFER TO PLAN FOR EXACT CONFIGURATION AND HANDEDNESS OF FURNITURE TO BE PROVIDED. **HANDEDNESS CANNOT BE INTERCHANGED ONCE ORDER IS PLACED.** CONFIRM HANDEDNESS WITH DESIGNER PRIOR TO ORDER.
2. ORDER TO BE VERIFIED WITH DESIGNER PRIOR TO PURCHASE, **ONCE ORDER IS PLACED, ANY CHANGES WILL RESULT IN ADDITIONAL CHARGES.**
3. REFER TO PLAN FOR LOCATION OF WALL-MOUNTED FURNITURE ACCESSORIES, REFER TO ACCESSORY TAGS (X)
4. REFER TO MANUFACTURER SPECS FOR WALL-MOUNTED ACCESSORY HEIGHTS

FURNITURE SCHEDULE

DESCRIPTION	QUANTITY	ORDER?	MOVE?
BOA			
Impulse Workstation	1		1
CHAIRS			
Emme Task Chair	3		3
Rein Guest Chair - Exec Walnut Finish	2		2
Rein Guest Chair - Wenge Finish	5		5
FA			
Endura Desk	1		1
Impulse Desk	1		1

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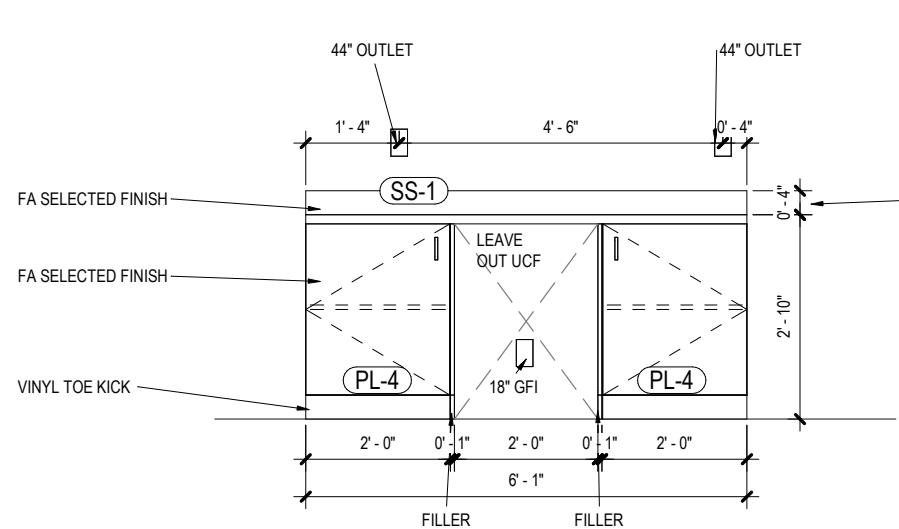
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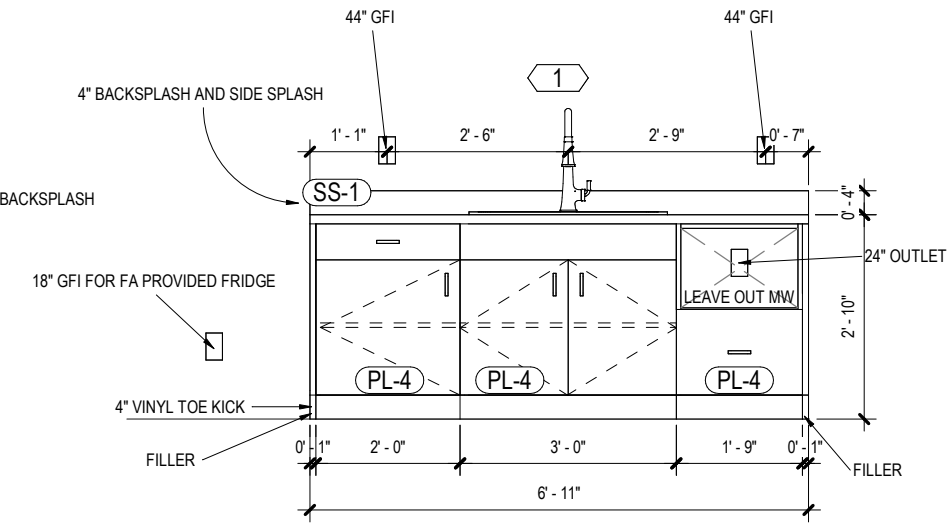
ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

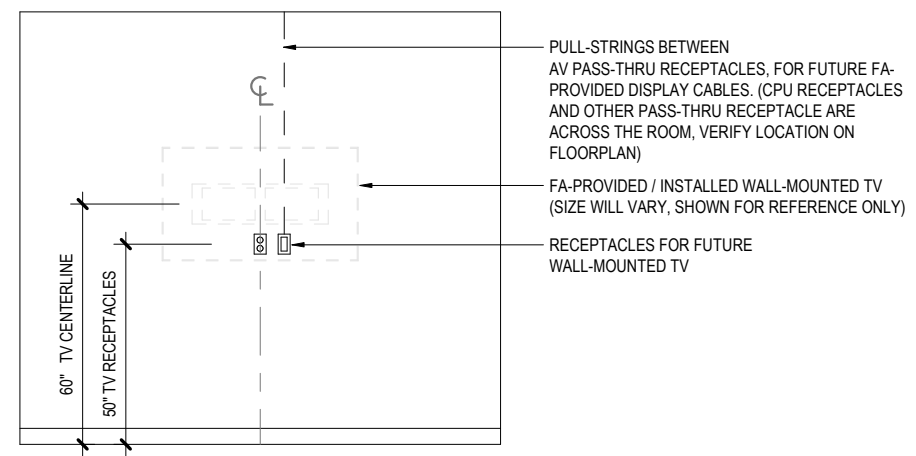
EXHIBIT A
FURNITURE / EDJ
EQUIPMENT PLAN



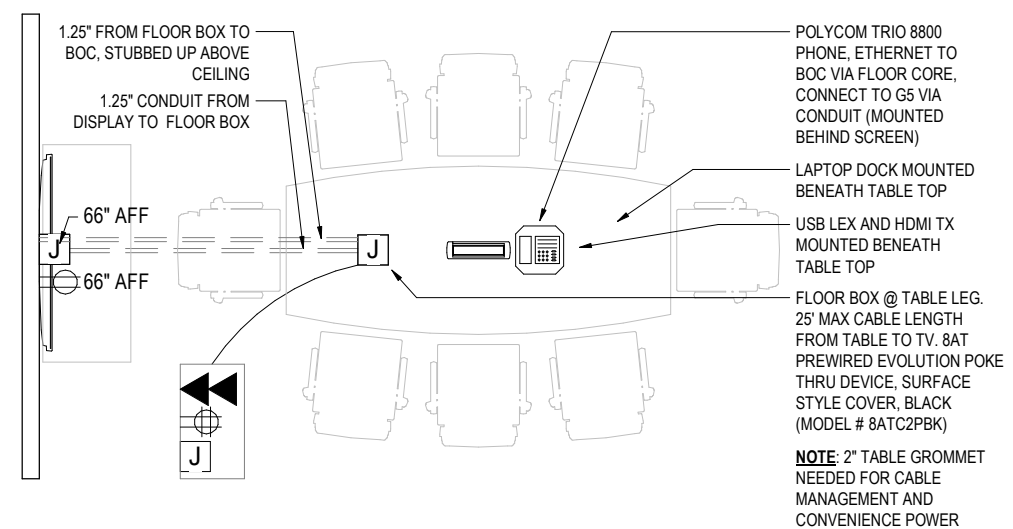
1 COFFEE BAR
3/8" = 1'-0"



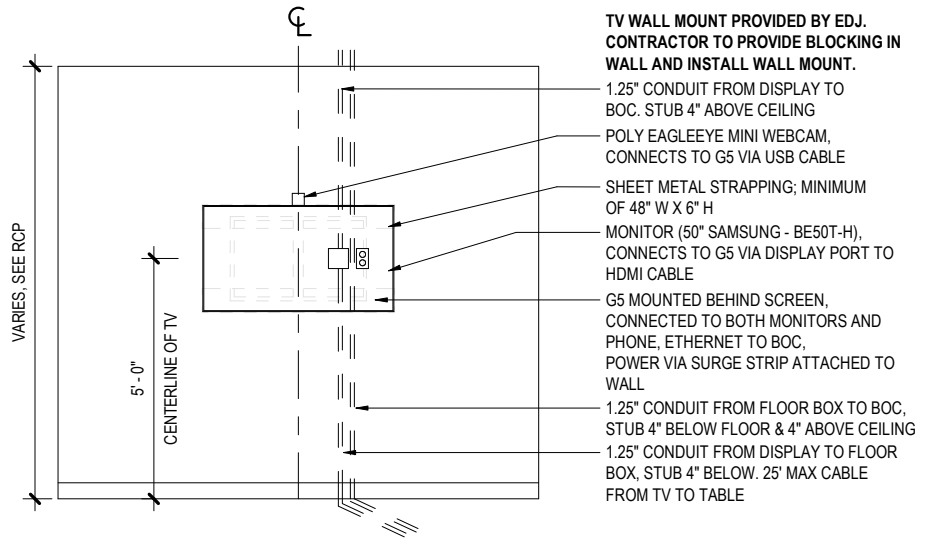
2 KITCHENETTE
3/8" = 1'-0"



TYPICAL TV ELEVATION - CPU ACROSS ROOM OFFICE 102A-C
1/4" = 1'-0"



ENLARGED PLAN - MED CONF 106
1/4" = 1'-0"



ENLARGED ELEVATION - 66" DISPLAY - 106
1/4" = 1'-0"

ELEVATION NOTES

CASEWORK GENERAL NOTES

1. ALL CASEWORK TO BE BUILT TO EDJ SPECIFICATIONS AS LISTED ON SHEET 10, INCLUDING ALL ADA AND BUILDING ACCESSIBILITY CODES.
2. CONTRACTOR TO PROVIDE SHOP DRAWINGS OF ALL CASEWORK SCOPE SHOWN. SEND TO CONSTRUCTION MANAGER FOR REVIEW / APPROVAL.
3. CONTRACTOR TO SUPPLY AND INSTALL ALL PLUMBING FIXTURES SHOWN. FINANCIAL ADVISOR TO SUPPLY AND INSTALL ANY AND ALL APPLIANCES.

CASEWORK FINISH SCHEDULE (XX-X)

TAG	MFR	COLOR/STYLE	COMMENTS
PL-1	WILSONART	PHANTOM COCOA 8213	38 FINE VELVET FINISH
PL-2	WILSONART	FLORENCE WALNUT 7993	38 FINE VELVET FINISH
PL-3	WILSONART	WALNUT HEIGHTS 7965	38 FINE VELVET FINISH
PL-4	LAMINART	VAPOR 2429	TEXTURED
PL-5	LAMINART	PLATINUM 2300	TEXTURED
PL-6	PANOLAM	CHALK WHITE S-7024	THRUCOLOR LAMINATE
SS-1	WILSONART	HAIDA Q4008	EASED EDGE

*SPECIFICATIONS SHOULD BE USED AS LISTED AND PER ELEVATIONS. CONTACT CONSTRUCTION MANAGER TO REVIEW / APPROVE ANY AND ALL ALTERNATES IF REQUIRED.

APPLIANCE / FIXTURE SCHEDULE (X)

TAG	ITEM	MODEL #	COMMENTS
1	33" KITCHEN SINK	SIMILAR TO GLACIER BAY, VT3322TA2PA1 MODEL	BLACK FINISH - 33" WIDE, BLACK, DOUBLE-BOWL, BLACK FAUCET + ACCESSORIES INCLUDED
-	GARBAGE DISPOSAL	N/A, SOURCED LOCALLY	*ALL SINK LOCATIONS
-	WATER FILTER FOR FAUCET	BRONDELL, RC100	*ALL SINK LOCATIONS, UNDERCOUNTER

*SPECIFICATIONS SHOULD BE USED AS LISTED AND PER ELEVATIONS. CONTACT CONSTRUCTION MANAGER TO REVIEW / APPROVE ANY AND ALL ALTERNATES IF REQUIRED.

TV / AV GENERAL NOTES

1. REFER TO SHEET 10 FOR SPECIFICATIONS REGARDING ELECTRICAL AND DATA.
2. REFER TO PARTITION PLAN ON SHEET 3 FOR EXACT TYPE, LOCATIONS, AND HEIGHTS OF RECEPTACLES NEEDED FOR FUTURE WALL-MOUNTED TV AND CPU. RECEPTACLES FOR CPU MAY BE BELOW TV OR ELSEWHERE IN ROOM.
3. CONTRACTOR TO INSTALL CONDUIT WITH PULL-STRINGS BETWEEN BOC LOCATION AND GANG BOXES FOR DATA, AND PULL-STRINGS BETWEEN AV PASS-THRU RECEPTACLES FOR FUTURE FA-PROVIDED AV DISPLAY CABLES.
4. RECEPTACLES TO BE CENTERED ON WALL AS SHOWN, U.N.O. ON SHEET 3.
5. CONTRACTOR TO INSTALL BLOCKING IN WALL FOR FUTURE WALL-MOUNT.
6. FA TO SUPPLY AND INSTALL TV, MOUNT, AND AV DISPLAY CABLES REQ'D.

ISSUES / REVISIONS

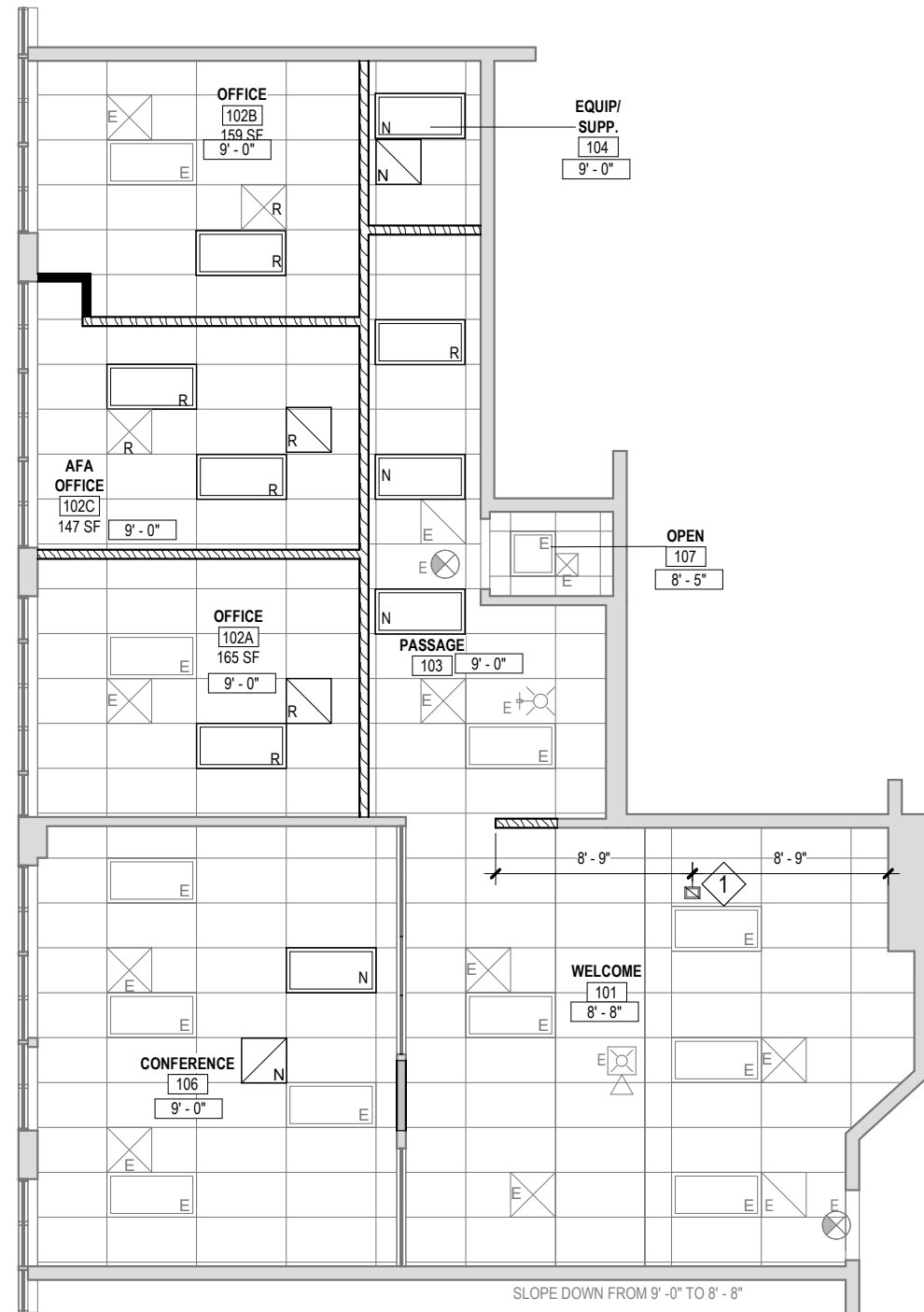
NO.	DATE	DESCRIPTION

****DO NOT SCALE DRAWINGS****
 **CONTRACTOR MUST HAVE (10) SHEETS FOR THIS SET OF DRAWINGS. IF YOU ARE MISSING ANY SHEETS, PLEASE CONTACT CONSTRUCTION MANAGER.

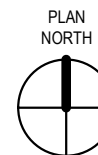
6850 W 52ND AVE., SUITE 103,
 ARVADA, CO 80002-3955
 SQUARE FOOTAGE: 1492 USF | TBD RSF

Edward Jones
 BRANCH REAL ESTATE
 BRANCH OFFICE: 41843
 DATE: 2024.04.19

EXHIBIT A
 ELEVATIONS +
 DETAILS



1 REFLECTED CEILING PLAN
1/8" = 1'-0"



REFLECTED CEILING PLAN NOTES

GENERAL NOTES

1. CONTRACTOR TO CONFIRM HVAC, LIGHTING, AND FIRE PROTECTION MEETS ALL APPLICABLE CODES AND EDWARD JONES STANDARDS ON SHEET 9. NOTIFY CONSTRUCTION MANAGER IF THERE ARE DISCREPANCIES OR REVISIONS NEEDED.
2. EXISTING ACOUSTICAL CEILING TO REMAIN AS SHOWN. PATCH / REWORK GRID AS NEEDED FOR NEW PARTITION LAYOUT. PAINT EXISTING GRID THROUGHOUT WHITE. REPLACE ALL STAINED / DAMAGED / MISMATCHED CEILING TILES THROUGHOUT TO ENSURE ALL MATCH.
3. RELOCATE EXISTING / INSTALL NEW LIGHTING TO MATCH AS SHOWN ON PLAN. IF EXISTING 2X4 LIGHTS ARE T12, REPLACE WITH BALLAST BYPASS LED LAMPS.
4. EXISTING EMERGENCY LIGHT AT HALLWAY AND EGRESS DOOR AS SHOWN ON PLAN AND AS REQUIRED BY LOCAL CODES. RELOCATE EXISTING FIRE STROBES AND FIRE ALARM SPEAKERS AS REQUIRED BY LOCAL CODES.

KEYED NOTES X

1. INSTALL COMMERCIAL WALL WASH LIGHT FIXTURE TO ILLUMINATE INTERIOR LOGO; TO BE SEPARATELY SWITCHED. SEE SHEET 8 FOR SPECIFICATIONS.

RCP LEGEND

	2' X 2' LAY-IN LIGHT FIXTURE		EXHAUST FAN
	2' X 4' LAY-IN LIGHT FIXTURE		EXIT / EMERGENCY COMBO
	6" RECESSED DOWNLIGHT		EXIT / EMERGENCY LIGHT
	EDJ STANDARD WALL WASH		ATTIC ACCESS PANEL
	WALL-MOUNTED FIXTURE		6 GALLON WATER HEATER
	LINEAR DIFFUSER		CEILING HEIGHT TAG
	PENDANT FIXTURE		EXISTING FIXTURE
	AIR SUPPLY GRILLE		NEW FIXTURE
	AIR RETURN GRILLE		RELOCATED FIXTURE

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

****DO NOT SCALE DRAWINGS****

**CONTRACTOR MUST HAVE (10) SHEETS FOR THIS SET OF DRAWINGS. IF YOU ARE MISSING ANY SHEETS, PLEASE CONTACT CONSTRUCTION MANAGER.

6850 W 52ND AVE., SUITE 103,
ARVADA, CO 80002-3955

Edward Jones
BRANCH REAL ESTATE
BRANCH OFFICE: 41843

SQUARE FOOTAGE: 1492 USF | TBD RSF

DATE: 2024.04.19

EXHIBIT A
REFLECTED
CEILING PLAN

EDWARD JONES GENERAL BUILDING AND FINISH SPECIFICATIONS

GENERAL NOTES

- THE FOLLOWING INFORMATION IS PROVIDED AS A GENERAL GUIDE. IN ALL CASES, IT IS PREFERRED THAT THE BUILDING STANDARD BE USED; OTHERWISE, USE THE INFORMATION PROVIDED BELOW AND ON THE DESIGN INTENT DRAWINGS, OFTEN REFERRED TO AS EXHIBIT A. IT IS THE INTENT THAT THESE MODIFICATIONS/ADDITIONS/IMPROVEMENTS WILL BE PERFORMED ON AN "AS NEEDED" BASIS, AT THE REASONABLE DISCRETION OF EDWARD D. JONES & CO., L.P. D/B/A EDWARD JONES, HEREIN AFTER REFERRED TO AS EDWARD JONES OR TENANT.
- ANY DISCREPANCIES ON SHEETS 1-7 TO BE BROUGHT TO DESIGNERS ATTENTION IMMEDIATELY.
- ALL WORK SHOULD BE PERFORMED BY G.C. (GENERAL CONTRACTOR) PER CITY, STATE, PROVINCIAL, AND NATIONAL CODES (ALL REFERENCES TO "CODE" IN THIS DOCUMENT TO APPLY TO CITY, STATE, PROVINCIAL, AND/OR NATIONAL CODES AS APPLICABLE). ALL CONSTRUCTION WILL BE COMPLETED SO THAT AN OCCUPANCY PERMIT (OBTAINED BY THE G.C.) WILL BE GRANTED PRIOR TO LEASE COMMENCEMENT.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST ISSUED EDITION OF THE EDWARD JONES APPROVED EXHIBIT A INCLUDED WITH THE CONTRACT FOR SERVICES AT TIME OF BID AWARD.
- EXHIBIT A IS INTENDED FOR DESIGN INTENT ONLY AND IS NOT AN OFFICIAL CONSTRUCTION DOCUMENT. GENERAL CONTRACTOR (GC) TO OBTAIN ANY NECESSARY PERMITS/DRAWINGS IF REQUIRED PER CODE; COST TO BE INCLUDED IN BID IF REQUIRED TO OBTAIN PERMITS.
- GENERAL CONTRACTOR MUST PROVIDE ALL SUBCONTRACTORS ALL 10 SHEETS AT TIME OF BID AND/OR PRIOR TO ANY CONSTRUCTION.
- ALL EXISTING ITEMS TO REMAIN IN BRANCH (AS SHOWN ON PLANS) MUST BE IN GOOD WORKING ORDER AND CONDITION, AND FREE OF MAJOR DEFECTS.
- EDWARD JONES' INSTALLERS MUST BE NOTIFIED OF ANY CHANGES IN PLACEMENT OF EQUIPMENT, PHONES, OUTLETS, OR FURNITURE. EDWARD JONES HAS AN ESTABLISHED RELATIONSHIP WITH NATIONAL VENDORS FOR FLOORING, PAINT, SIGNAGE, AND LOW VOLTAGE WIRING.
- FURNITURE, EQUIPMENT, BOTTLED WATER COOLER (IF REQUIRED BY CODE), PHONE AND DATA WIRING & ALL TERMINATIONS TO BE PROVIDED BY THE TENANT.
- THE SPACE SHOULD BE CLEANED AFTER CONSTRUCTION.
- WARRANTY DOCUMENTS SHALL BE PROVIDED TO THE BRANCH REAL ESTATE ONCE CONSTRUCTION IS COMPLETE.
- UPON PROJECT COMPLETION, CLOSE OUT DOCUMENTS TO BE SUBMITTED WITH FINAL INVOICE INCLUDE: CONSTRUCTION DOCUMENTS, APPROVED CHANGE ORDERS, CERTIFICATE OF OCCUPANCY, LIEN WAIVER, FINAL PHOTOS OF SPACE, COMPLETED PUNCH LIST WITH ALL OUTSTANDING ITEMS COMPLETED, AND AN AIR BALANCE REPORT.

INTERIOR CONSTRUCTION SPECIFICATIONS

- DEMOLITION**
 - DEMOLISH AND REMOVE FROM THE SITE ALL DEBRIS FROM THE AREAS AS SHOWN ON EXHIBIT A. LEAVE SPACE FREE OF ALL CONSTRUCTION DEBRIS.
 - REMOVE EXISTING FINISHES ONLY IN AREAS THAT ARE TO RECEIVE NEW FINISHES PER THE FINISH SCHEDULE SHOWN ON SHEET 4. ROOMS LISTED "NIC" OR "EXIST" SHALL REMAIN AS-IS UNLESS OTHERWISE NOTED ON FLOOR PLAN.
 - LEAVE AND/OR PREPARE FLOOR TO ACCEPT NEW GLUE DOWN FLOORING PER FINISH SCHEDULE. SURFACES THAT ARE TO ACCEPT NEW FLOORING ARE TO BE FREE OF ALL DEBRIS AND/OR RESINOUS DEPOSITS. FOR BRANCHES ON A SLAB FILL ALL FLOOR CUTS REMAINING FROM ANY PLUMBING OR OTHER TERMINATION WITH CONCRETE. DEMO ALL FLOOR OUTLETS AND PATCH AS REQUIRED. IF FLOOR HVAC VENTS ARE PRESENT IN A WALKWAY, PLEASE CONTACT DESIGNER FOR RELOCATION INSTRUCTIONS.
- PARTITIONS**
 - ALL NEW WALLS WILL BE CONSTRUCTED OF 3 5/8" METAL STUDS AT 16" O.C. (WOOD STUDS ACCEPTABLE IF APPROVED BY CODE) AND 5/8" DRYWALL MINIMUM, OR MATCH EXISTING TO REMAIN.
 - ALL NEW AND EXISTING WALLS SHALL BE TAPED AND SMOOTH, READY FOR PAINT, LEVEL 4 FINISH.
 - ALL PARTITIONS SURROUNDING OFFICES (102-), RESTROOMS (105-), AND CONFERENCE ROOMS (106-) TO BE BUILT TO EXTEND 6" ABOVE CEILING GRID.
 - ALL DEMISING WALLS TO BE BUILT TO DECK STRUCTURE ABOVE, FIRE SEALING ALL PENETRATIONS AS REQUIRED. IF PROPERTY UTILIZES A PLENUM RETURN FOR ENTIRE BUILDING, IT IS REQUIRED TO TAKE DEMISING WALLS TO HEIGHT OF ADJACENT TENANT'S WALLS TO PROVIDE A SECURE DEMISING WALL.
 - VERIFY DEMISING WALLS ARE INSULATED AND EXTEND TO DECK; EXTEND AND PROVIDE INSULATION AS REQUIRED
 - PROVIDE AND INSTALL SOUND BATT INSULATION ABOVE CEILING ALONG NEW DEMISING PARTITION. IF ADJACENT TENANT IS A RESTAURANT OR NAIL SALON, CAULK ALL OUTLETS AND PENETRATIONS AS WELL AS FLOOR LINE AND CONNECTION AT DECK TO AVOID SMELL TRANSFERENCE.
 - FINISH DEMISING WALL ON BOTH SIDES ONLY IF REQUIRED BY CODE, OR IF NOTED OTHERWISE ON PLANS. IT IS CONTRACTOR'S RESPONSIBILITY TO CONFIRM IF THIS IS REQUIRED DURING THE BIDDING PROCESS.
 - A MINIMUM OF 3" SOUND BATT INSULATION SHALL BE INSTALLED IN PARTITIONS AS INDICATED ON EXHIBIT A, BETWEEN STUDS AND ABOVE CEILING WHERE THE WALL AND CEILING MEET. IF WALLS ARE EXISTING, USE BLOW-IN INSULATION.
 - PROVIDE RUBBER MOLD/BREAK METAL AT WINDOW MULLION, CAULK ALL SEAMS. ALL WALLS THAT END AT EXTERIOR WALLS OR MULLIONS TO INCLUDE SOUND CAULK AND RUBBER GASKET AT POINT OF CONNECTION.

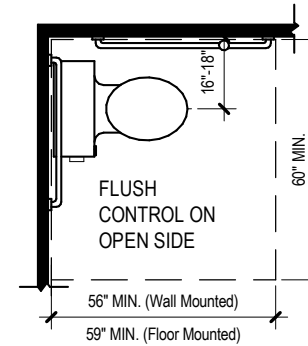
- CEILING**
 - ACOUSTICAL CEILINGS: TILES TO BE FREE FROM STAINS, DIRT, CHIPS, AND BREAKS; ALL TILES TO BE SAME COLOR AND STYLE; GRID TO BE WHITE AND EVEN, FREE FROM HOLES (OR FILLED), AND SHOULD BE CLEAN. CONTIGUOUS AREAS MUST HAVE MATCHING TILE.
 - MATCH EXISTING CEILING TILES AND GRID, OR BUILDING STANDARD, WHERE APPLICABLE.
 - IF EXISTING GRID IS IN POOR CONDITION, OR COLOR OTHER THAN WHITE (AND NOT A BUILDING STANDARD), PAINT GRID WHITE, OR REPLACE AS REQUIRED.
 - IF INSTALLING NEW, PROVIDE AND INSTALL 2 X 4' COMMERCIAL GRADE ACOUSTICAL CEILING TILE AND GRID. STANDARD HEIGHT FOR NEW CEILING TO BE 9'-0", UNLESS NOTED ON PLANS.
 - BASIS OF DESIGN:**
 - MFR: USG
 - PRODUCT: OLYMPIA MICRO 4753, NRC .60, SIZE: 2' X 4'
 - PROFILE: SHADOWLINE TAPERED
 - GRID: D, USG DX FLAT GRID
 - COLOR: WHITE
 - OR COMPARABLE ALTERNATE** (CONTACT CONSTRUCTION MANAGER FOR APPROVAL)
 - DRYWALL CEILINGS: TO BE LEVEL, HAVE AN EVEN TEXTURE (MATCH EXISTING WHERE APPLICABLE), AND BE PAINTED WHITE (SEE PAINT SPEC).
- FIRE PROTECTION**
 - PROVIDE AND INSTALL NEW SPRINKLER SYSTEM ONLY AS REQUIRED BY CODE. IF EXISTING, MODIFY SPRINKLER LAYOUT AS REQUIRED PER CODE. INCLUDE NECESSARY PERMITS AND INSPECTIONS IF REQUIRED BY CODE AND/OR JURISDICTION. HEADS MUST BE CENTERED IN TILE.
 - PROVIDE APPROPRIATE COVERAGE OF HEADS FOR PARTITION LAYOUT AS REQUIRED BY CODE PER PARTITION LAYOUT AS SHOWN ON EXHIBIT A. QUANTITY AND LOCATION OF HEAD TO COMPLY WITH APPLICABLE CODES.
 - PROVIDE/MODIFY FIRE ALARM SYSTEM IF REQUIRED BY LOCAL CODE.
 - PROVIDE DESCRIPTION OF ANY LIFE SAFETY SYSTEM PROVIDED IN BUILDING AND ITS OPERATION.
 - PROVIDE AND INSTALL SMOKE DETECTORS AS REQUIRED BY CODE.
 - PROVIDE AND INSTALL FIRE EXTINGUISHER; TO MEET ALL LOCAL CODES.
- TOILET/WASHROOM & PLUMBING (UNLESS COMMON FACILITIES PRESENT)**
 - PROVIDE AND INSTALL RESTROOM LAYOUT AND FIXTURES AS SHOWN ON EXHIBIT A. WASHROOM TO BE BARRIER FREE / HANDICAP ACCESSIBLE AS REQUIRED BY ADA STANDARDS, BUILDING CODES, AND AS SHOWN ON PLANS. GC TO ADHERE TO ANY CODES WHICH MIGHT REQUIRE MODIFICATION OF EXISTING RESTROOM NOT SHOWN ON PLANS; CONTACT DESIGNER IF CODE REQUIREMENTS DIFFER FROM PLANS.
 - RESTROOM TO HAVE (1) OF EACH OF THE FOLLOWING: TOILET, SINK, WATER HEATER (DEDICATED TO EDJ SPACE), GRAB BARS, TOILET PAPER HOLDER, PAPER TOWEL DISPENSER, SOAP DISPENSER, & MIRROR. PROVIDE & INSTALL ANY OTHER ACCESSORY AS NOTED ON PLANS OR REQ'D BY CODE.
 - EXISTING RESTROOM FIXTURES TO REMAIN IF DETERMINED TO BE IN GOOD CONDITION (I.E. IN GOOD OPERATION AND FREE OF STAINS OR CRACKS). CLEAN AND RESET FIXTURES AS REQUIRED.
 - SINK(S) (ONLY IF SHOWN ON EXHIBIT A) TO HAVE HOT AND COLD-WATER SERVICE. IF UNABLE TO INSTALL WATER HEATER ABOVE CEILING, INSTALL INSTA-HOT UNDER SINK.
 - PROVIDE AND INSTALL EXHAUST FAN WITH ADEQUATE DUCTING & SEPARATELY SWITCHED AS REQUIRED.
 - PROVIDE AND INSTALL BARRIER-FREE UNDER-SINK PIPE PROTECTIVE COVER UNDER SINK IN 105.

PLUMBING FIXTURE SCHEDULE

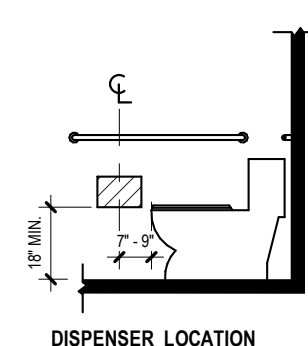
ITEM	MODEL #	COMMENTS
18" GRAB BAR	BOBRICK #B-5806X18	
36" GRAB BAR	BOBRICK #B-5806X36	
42" GRAB BAR	BOBRICK #B-5806X42	
MIRROR**	24"WX36"H W/J-MOLD	
PAPER TOWEL DISPENSER	47260 - SCOTT MOD™	ELECTRONIC SLIMROLL, BLACK, PINK CODE
SINK FAUCET**	MOEN M-BITION 9482	ADA-COMPLIANT SINGLE-LEVER
SINK**	ZURN Z5340, WHITE	ADA-COMPLIANT, WALL-MOUNTED, SINGLE-HOLE, CAULK AS REQ.
SOAP DISPENSER	32504 SCOTT MOD SKINCARE DISPENSER	WALL MOUNTED, TOUCHLESS BATTERY OPERATED
TOILET PAPER DISPENSER	09604 SCOTT SERIES INSIGHT	SURFACE MOUNTED DOUBLE ROLL TOILET TISSUE DISPENSER
TOILET SIGNAGE	PLASTIC ACCESSIBLE RESTROOM SIGN-UNISEX	
TOILET**	PF5112HEWH/PF1403TWH (LEFT FLUSH) PF5112RHEWH/PF1403TWH (RIGHT FLUSH)	ADA COMPLIANT, FLOOR MOUNTED CAULK AS REQ.

ITEMS SHOWN WITH ** MAY USE SIMILAR ALTERNATE MODEL, OTHERWISE CONTRACTOR TO USE SPECIFIED ITEM. IF CONTRACTOR FINDS DISCREPANCIES OR ISSUES USING SPECS LISTED, CONTACT CONSTRUCTION MANAGER FOR REVIEW/APPROVAL OF ALTERNATES.

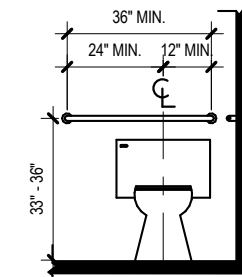
TYPICAL RESTROOM DETAILS



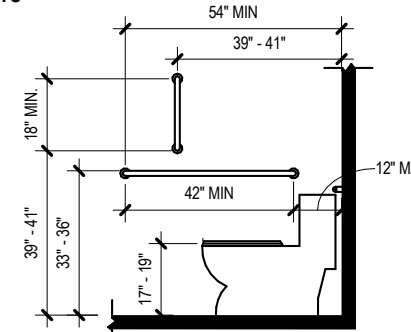
PLAN CLEARANCE AT WATER CLOSETS



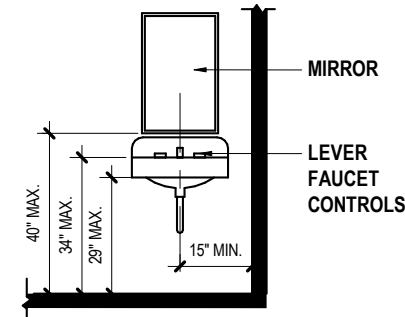
DISPENSER LOCATION



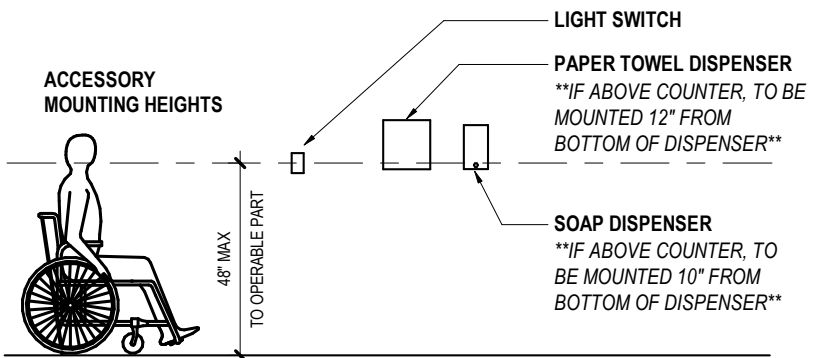
REAR WALL GRAB BAR AT WATER CLOSETS



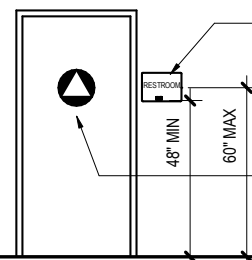
SIDE WALL GRAB BAR AT WATER CLOSETS/SEAT HEIGHT



LAVATORY MOUNTING HEIGHTS AND CLEARANCE



RESTROOM SIGNAGE



TACTILE AND BRAILLE ROOM ID SIGNAGE, ANSI A117.1 & 11B-703. ALL UPPER CASE TEXT 5/8"-2" HEIGHT, RAISED 1/32". CHARACTERS SHALL BE SAN SERIF CONTRACTED GRADE 2 BRAILLE, 703.3.4 & 11B-703.3. MINIMUM CHARACTER HEIGHT SHALL COMPLY WITH TABLE 703.2.4 & 11B-703.5.5.

RESTROOM IDENTIFICATION COLORS TO CONTRAST WITH DOOR COLOR. NO BRAILLE. UNISEX SIGN TO INCLUDE 12" DIAMETER CONTRASTING COLORS.

****DO NOT SCALE DRAWINGS****

****CONTRACTOR MUST HAVE (10) SHEETS FOR THIS SET OF DRAWINGS. IF YOU ARE MISSING ANY SHEETS, PLEASE CONTACT CONSTRUCTION MANAGER.**

6850 W 52ND AVE., SUITE 103,
ARVADA, CO 80002-3955

Edward Jones
BRANCH REAL ESTATE

BRANCH OFFICE: 41843
DATE: 2024.04.19

SQUARE FOOTAGE: 1492 USF | TBD RSF

EXHIBIT A
FINISH SPECIFICATIONS

EDWARD JONES GENERAL BUILDING AND FINISH SPECIFICATIONS

6. HVAC (UNLESS SHARED SYSTEM PRESENT)

- A. SYSTEM TO BE FULLY OPERATIONAL, IN GOOD CONDITION AND PROPERLY BALANCED UPON COMPLETION OF WORK. BALANCE BOTH HEATING AND COOLING. SYSTEM TO BE DEDICATED TO EDJ SPACE.
 - HVAC BALANCE SHEET MUST BE SUBMITTED WITH INVOICE AT PROJECT COMPLETION.
- B. ALL DUCTING, DIFFUSERS, GRILLES, AND THERMOSTATS SHALL BE CLEAN, IN GOOD CONDITION AND PROPERLY FUNCTIONING. LOCATION TO BE REVISED AS NECESSARY PER NEW PARTITION LAYOUT. VERIFY THAT ALL ROOMS IN EDWARD JONES SPACE AS SHOWN ON SHEET 3/4/5 HAVE A MINIMUM OF (1) RETURN AND (1) SUPPLY GRILLE AND MEET TEMPERATURE REQUIREMENTS TO ENSURE A COMFORTABLE WORKING ENVIRONMENT.
- C. IF SPACE IS BEING SUBDIVIDED, EDWARD JONES SPACE TO BE SEPARATELY CONTROLLED--SHARING OF THERMOSTAT WITH ADJACENT SPACES IS NOT ACCEPTABLE UNLESS IT IS AN OFFICE BUILDING THAT UTILIZES A PLENUM RETURN. IF SHARED SYSTEM EXISTS, THERMOSTAT MAY NOT BE LOCATED WITHIN EDWARD JONES LEASED SPACE.
- D. VERIFY THERMOSTAT IS LOCATED IN AN ACCESSIBLE AREA OF THE SPACE AS SHOWN ON FLOOR PLAN (TYPICALLY IN ROOM 101 OR 103).
- E. PROVIDE AND INSTALL A NEW WHITE-RODGERS 7-DAY PROGRAMMABLE THERMOSTAT, UNLESS OTHERWISE NOTED ON PLANS. PROVIDE APPROPRIATE STAT FOR UNIT SIZE AND TYPE. SET THERMOSTAT FOR M-F 8-5 HOURS OF OPERATION. LEAVE INSTRUCTIONS TAPED TO THERMOSTAT FOR FUTURE REFERENCE.
- F. HVAC SYSTEM SHOULD BE ABLE TO MAINTAIN 75 DEGREE F SUMMER AND 70 DEGREE F WINTER TEMPERATURES IN ACCORDANCE WITH THE ASHRAE DESIGN STANDARDS APPLICABLE TO THIS LOCATION. IF NECESSARY, A FORMAL INSPECTION TO VERIFY EQUIPMENT CONDITION SHOULD BE DONE.
- G. EDWARD JONES BOC (AS SHOWN ON EXHIBIT A) REQUIRES VENTILATION. INSTALL A SUPPLY GRILLE IN BOC ROOM (USUALLY ROOM 104) OR AREA IT IS LOCATED IN, TO MAINTAIN CONSTANT TEMPERATURE REQUIRED.
- H. IF BUILDING UTILIZES AN OPEN PELNUM SYSTEM, PROVIDE AND INSTALL SOUND BOOTS ON EACH RETURN GRILL (HERCULES INDUSTRIES SB222 SOUND BOOTS OR SIMILAR).

7. LIGHTING (UNLESS BUILDING STANDARD APPLIES)

- A. IF T12 LIGHTING IS EXISTING UTILIZE BALLAST BYPASS LED LAMPS, PROVIDE AND INSTALL COMMERCIAL GRADE 2X4 LIGHT FIXTURES AT ONE FIXTURE PER EVERY 75 USABLE SF, SO AS TO ACCOMMODATE MINIMUM 50 FOOTCANDLES AT DESK LOCATIONS.
- B. FOR NEW CONSTRUCTION OR NEW LIGHTING REQUIRED THROUGHOUT, PROVIDE AND INSTALL COMMERCIAL GRADE 2X4 LED FIXTURES (UNLESS NOTED OTHERWISE ON RCP ON SHEET 7). CONTRACTOR TO VERIFY LIGHTING LAYOUT MEETS A MINIMUM OF 50 FOOTCANDLES AT DESK LOCATIONS.
 - BASIS OF DESIGN:
 - DEALER: VILLA LIGHTING (*SEE CONTACT ON SHEET 1)
 - STYLE: 2X4 LED, WITH ANGLED DIFFUSER
 - OUTPUT: W/40W, 4700 LUMENS, 3500K
 - OR COMPARABLE ALTERNATE (CONTACT CONSTRUCTION MANAGER FOR APPROVAL).
- C. EDWARD JONES HAS ESTABLISHED A PREFERRED VENDOR ARRANGEMENT WITH VILLA LIGHTING. PLEASE CONTACT VILLA LIGHTING FOR QUOTATION ON THE LIGHTING SPECIFICS.
- D. ALL NEW AND EXISTING LIGHTING SHOULD BE FULLY OPERATIONAL AND IN GOOD CONDITION.
- E. EXIT AND/OR EMERGENCY LIGHTING TO BE INSTALLED AS REQUIRED PER CODE.
- F. A SWITCH SHOULD OCCUR AT MAIN ENTRANCE AND WIRED TO OPERATE LIGHTING IN 101 AND PASSAGE 103 AS SHOWN ON PLAN, UNLESS EXISTING. IF SPACE HAS MORE THAN ONE EGRESS DOOR, SWITCH SHOULD BE 3-WAY TO OPERATE AT BOTH ENTRANCES; EXCLUDING BRANCHES IN CA.
- G. PROVIDE AND INSTALL EXIT LIGHTING AT EGRESS DOORS AS REQUIRED BY CODE.
- H. IF EXISTING, VERIFY THAT ALL LENSES AND LAMPS ARE CONSISTENT IN COLOR. LENSES TO BE FREE OF ANY VISIBLE DAMAGE, STAINS, OR DISCOLORATION OF ANY KIND.
- I. IN ROOMS 101 AND 103, HARD WIRE ONE LIGHT FIXTURE TO REMAIN ON AT ALL TIMES IF NOTED IN SITE SPECIFIC NOTES ON SHEET 3 OF 8. LIGHTS TO BE ORIENTED TO ALLOW ILLUMINATION OF INTERIOR COMMON AREAS FROM EXTERIOR DURING EVENING HOURS. (THIS ITEM TO BE ADJUSTED IN TITLE 24 REGIONS TO MEET LOCAL ENERGY REQUIREMENTS). SEE CONTRACTOR'S NOTES ON SHEET 3 OF 8.
- J. PROVIDE AND INSTALL (1) COMMERCIAL WALL WASH LED TO ILLUMINATE INTERIOR LOGO. INSTALL IN CEILING ABOVE INTERIOR LOGO IN 101 AS NOTED. PROVIDE A SEPARATE SWITCH FOR LIGHT; SWITCH TO BE INSTALLED AT ENTRY DOOR UNLESS OTHERWISE SHOWN.
 - BASIS OF DESIGN:
 - PRODUCT: ELLIPTIPAR S222 WALL WASH
 - COLOR: MATTE WHITE
 - SPECS: L-MOUNT (ACT) OR P-MOUNT (DRYWALL), 3500K, 80+ CRI, NON-DIMMING
 - MOUNTING: FIXTURE TO BE CENTERED ON WALL LOGO.
 - CLG HTS UP TO 9' TALL = 30" OFF FACE OF WALL
 - CLG HTS BETWEEN 9'-10' TALL = 33" OFF FACE OF WALL
 - CLG HTS ABOVE 10' TALL 36" OFF FACE OF WALL
 - OR COMPARABLE ALTERNATE (CONTACT CONSTRUCTION MANAGER FOR APPROVAL).

8. DOORS (UNLESS BUILDING STANDARD APPLIES)

- A. ALL DOORS TO BE INSTALLED CLEAR OF ANY OBSTRUCTIONS.
- B. ALL DOOR CLEARANCES TO BE MET AS SHOWN ON SHEET 3 AND PER ACCESSIBILITY REQUIREMENTS.
- C. ALL DOORS TO HAVE WALL OR FLOOR MOUNTED STOPS, CONSISTENT WITH THE SPACE.
- D. REUSE / RELOCATE EXISTING DOORS AS NOTED ON SHEETS 2 AND 3. ANY EXISTING DOORS BEING REUSED SHALL BE REPAIRED OR REPAINTED AS REQUIRED. REPAIRED DOORS SHALL BE APPROVED FOR REUSE BY EDWARD JONES' DESIGNER.
- E. ANY NEW DOOR SHALL BE NO LESS THAN 3'-0" W, UNLESS OTHERWISE NOTED ON SHEET 3.
- F. ANY NEW DOOR SHALL MATCH EXISTING HEIGHT AND STYLE OF EXISTING, REMAINING DOORS. DOORS CAN NOT BE UNDERCUT FOR ANY REASON. THE MAXIMUM GAP ALLOWED IS 1/2".
- G. DOORS (BOTH INTERIOR AND EXTERIOR) AND OTHER WOODWORK SHOULD BE PAINTED OR STAINED TO MATCH EXISTING BUILDING STANDARD WHERE REQUIRED. IF NO STANDARD IS ESTABLISHED, USE PAINT OR STAIN AS LISTED IN THIS DOCUMENT ON SHEET 4.
- H. FINISHED DOORS WILL BE FREE FROM UNEVEN COLOR, DRIPS OR RUNS. ALL DOOR EDGES, INCLUDING TOP AND BOTTOM, TO BE FINISHED.
- I. EXTERIOR DOORS:
 - 1. ALL SUITE ENTRY DOORS, AND REAR DOORS LEADING TO BUILDING COMMON AREA, MUST HAVE CLOSERS, METAL PRY PLATES, AND THUMB-TURN LOCKSET HARDWARE, ON OCCUPIED SIDE. COORDINATE WITH LANDLORD PRIOR TO INSTALLATION.
 - IF EXISTING DOOR TYPE DOES NOT ALLOW THUMB-TURN LOCKSET (I.E. GLASS DOORS), NOTIFY CONSTRUCTION MANAGER FOR APPROVAL TO UTILIZE ELECTROMAGNETIC LOCK AND KEYPAD.
 - 2. ALL REAR DOORS LEADING TO THE EXTERIOR, MUST HAVE CLOSER, METAL PRY PLATES, CYLINDER GUARD, AT LEAST ONE SECURITY HINGE WITH NON-REMOVABLE PIN (MCKINNEY TA2314 OR APPROVED EQUAL), DEADBOLT, AND PEEPHOLE INSTALLED AT 5'-0" A.F.F. NOTIFY CONSTRUCTION MANAGER IMMEDIATELY IF PROPERTY MANAGER WILL NOT ALLOW PEEPHOLE TO BE INSTALLED.
 - 3. IF CODE DOES NOT ALLOW THUMB-TURN OR DEADBOLT DUE TO EGRESS, UTILIZE PANIC HARDWARE.
 - BASIS OF DESIGN:
 - PRODUCT: PHOENIX DOUBLE DEFENDER
 - MODEL: DD-QR, QUICK RELEASE SECURITY BAR
 - NOTE: UL LISTED PANIC HARDWARE 2N43, CALL 913-723-3203 FOR LOCAL RETAILER.
 - OR COMPARABLE ALTERNATE (CONTACT CONSTRUCTION MANAGER FOR APPROVAL)
 - 4. WASHINGTON/OREGON: INSTALL LATCH PADDLES ON EXTERIOR ENTRY DOORS.
 - 5. DOOR CHIME TO BE PROVIDED AT FRONT ENTRY DOOR (IF APPLICABLE, SEE SHEET 3):
 - BASIS OF DESIGN:
 - VENDOR: HOME DEPOT
 - MODEL: HEATH ZENITH WIRELESS DOOR ALERT W/ WHITE COVER & HORIZONTAL LINES, MODEL # 7368-02
 - OR COMPARABLE ALTERNATE (CONTACT CONSTRUCTION MANAGER FOR APPROVAL)
- J. INTERIOR DOORS:
 - 1. NO INTERIOR DOOR CLOSERS TO BE INSTALLED UNLESS OTHERWISE NOTED ON SHEET 3.
 - 2. WHERE ALL NEW INTERIOR DOORS ARE REQUIRED, PROVIDE AND INSTALL COMMERCIAL-GRADE, WOOD DOORS WITH HOLLOW METAL FRAMES.
 - BASIS OF DESIGN:
 - DOOR: PAINT-READY BIRCH WOOD, PAINTED/STAINED PER FINISH SPECS ON SHEET 4. ROOMS 102A, 102B, 104, 105, AND 106 TO BE SOLID CORE. ALL OTHERS MAY BE HOLLOW-CORE UNLESS NOTED OTHERWISE ON PLAN. REPLACE EXISTING AS REQUIRED.
 - FRAME: HOLLOW METAL, PAINTED PER FINISH SPECS ON SHEET 4.
 - SIZE: 3'-0" W X 6'-8" H.
 - 3. ALL DOOR HARDWARE TO BE HANDICAP ACCESSIBLE. REPLACE EXISTING, OR PROVIDE NEW.
 - BASIS OF DESIGN:
 - STYLE: LEVER-STYLE, ADA-COMPLIANT
 - FINISH: MATCH EXISTING OR BUILDING STANDARD, IF APPLICABLE. IF NO STANDARD, NEW HARDWARE TO BE BRUSHED NICKEL.
 - 4. PRIVACY LOCKSET TO BE PROVIDED FOR ROOM 105 (IF APPLICABLE, SEE SHEET 3)
 - 5. KEYLESS STOREROOM LOCKSET TO BE PROVIDED FOR ROOM 104 (IF APPLICABLE, SEE SHEET 3):
 - BASIS OF DESIGN:
 - VENDOR: HOME DEPOT
 - MODEL: KWIKSET #909HFL720-15SMT
 - COLOR: SATIN NICKEL
 - OR COMPARABLE ALTERNATE (CONTACT CONSTRUCTION MANAGER FOR APPROVAL).

9. FLOORING (UNLESS BUILDING STANDARD APPLIES)

- A. IF NEW CONSTRUCTION, GC REQUIRED TO COMPLETE MOISTURE TEST. IF MOISTURE READING IS ABOVE 95, NOTIFY FLOORING VENDOR IMMEDIATELY.
- B. THE EDWARD JONES STANDARD CARPET, VINYL BASEBOARD, AND LUXURY VINYL PLANK SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS. INSTALL METHOD FOR CARPET IS DIRECT GLUE IN AN ASHLAR PATTERN. SEE MANUFACTURER'S INSTRUCTIONS FOR POST-INSTALLATION /CLEANING INSTRUCTIONS. LUXURY VINYL PLANK JOINTS TO BE STAGGERED 6"+ IN RANDOM PATTERN. WHEN INSTALLING, CONTRACTOR SHOULD MIX TILES FROM MULTIPLE BOXES.
 - ADHESIVE: 2000 PLUS, SPREAD RATE: 35 SY/GAL
- C. PROVIDE A SMOOTH SURFACE FOR FLOORING INSTALLATION. IF FLOOR IS NOT LEVEL NOTIFY CONSTRUCTION MANAGER IMMEDIATELY.
- D. CONTACT FLOORING VENDOR LISTED ON COVER SHEET 1 IMMEDIATELY AFTER AWARD OF CONTRACT TO COORDINATE FLOORING DELIVERY.

- E. CARPET MATERIAL MUST BE ORDERED FROM CONTACT ON COVER SHEET, WITH WHOM EDWARD JONES HAS NATIONAL CONTRACT WITH. COORDINATION, PURCHASE, AND INSTALLATION OF ALL FLOORING AND FINISHES, AS LISTED IN EXHIBIT A, WILL BE THE FULL RESPONSIBILITY OF THE GC.
- F. ALL CARPET TO BE INSTALLED PER CRI STANDARDS (CARPET & RUG INSTITUTE).
- G. INSTALL SCHLUTER TRANSITION STRIP (ANODIZED ALUMINUM) BETWEEN DISSIMILAR FLOORS.
- H. CARPET TO BE VACUUMED WITH NO PROTRUDING YARN AT SEAMS. IF CARPET IS EXISTING TO REMAIN IN SPACE, GC TO HAVE CARPET PROFESSIONALLY CLEANED.
- I. A FULL BOX OF CARPET TILE SHALL BE LEFT IN STORAGE AREA OF EDWARD JONES SPACE. ALL REMAINING LUXURY VINYL PLANK SHOULD BE LEFT IN EDWARD JONES' STORAGE AREA.

10. PAINT

- A. ALL EXPOSED SURFACES IN AREAS INDICATED IN FINISH SCHEDULE ON SHEET 4, SHALL BE PRIMED AND PAINTED WITH SHERWIN WILLIAMS PAINT.
- B. FOR ALL REPAINT AND REMODEL, THE PRIME COATS NOTED BELOW MAY BE EXCLUDED UNLESS COATING A BARE SURFACE. FOLLOW ALL MANUFACTURERS' RECOMMENDED SURFACE PREPARATION.
- C. ASSUME ONE TRIP FOR TOUCH UP PAINT AFTER FLOORING INSTALLATION AND FURNITURE DELIVERY. REMAINING TOUCH UP PAINT TO BE LEFT IN THE STORAGE AREA OF EDWARD JONES SPACE, CLEARLY LABELED.
- D. IF THERE ARE ANY QUESTIONS REGARDING PAINT COLORS, PLEASE CONTACT EDWARD JONES BRANCH DESIGN- DESIGNER NAME AND PHONE NUMBER LISTED ON EXHIBIT A.
- E. EXACT SPECIFICATIONS MAY BE OBTAINED FROM SHERWIN WILLIAMS: 1-800-474-3794.
- F. REFER TO PAINT SELECTION SHEET 4. COLORS MAY INCLUDE SEVERAL, BUT NOT ALL, OF THE FOLLOWING:

GYPSUM PARTITIONS (EXCEPT ACCENT WALLS & CEILINGS):

- TWO FINISH COATS OVER AN EXISTING FINISH OR PRIMER.
 - SHERWIN WILLIAMS:
 - PRIMER: SHERWIN-WILLIAMS PROMAR 200 ZERO VOC, INTERIOR LATEX PRIMER, BS28W02600.
 - 1ST & 2ND COATS: SHERWIN-WILLIAMS PROMAR 200 ZERO VOC EGG SHELL, A97-100 SERIES (IN ROLLER APPLICATIONS, USE ONLY A 1/2" NAP SYNTHETIC COVER).
 - COLOR: INDICATED ON SHEET 4

GYPSUM PARTITIONS (ACCENT WALLS): (NOTE Ax , SHEET 4)

- TWO FINISH COATS OVER AN EXISTING FINISH OR A PRIMER.
 - SHERWIN WILLIAMS:
 - PRIMER: SHERWIN-WILLIAMS PROMAR 200 ZERO VOC, INTERIOR LATEX PRIMER, BS28W02600.
 - 1ST & 2ND COATS: SHERWIN-WILLIAMS COLOR ACCENTS INTERIOR PROMAR 200 ZERO VOC EGG SHELL WALL FINISH, Y38 SERIES.
 - COLOR: INDICATED ON SHEET 4

GYPSUM CEILINGS: ONE FINISH COAT OVER AN EXISTING FINISH OR PRIMER.

- SHERWIN WILLIAMS:
 - PRIMER: SHERWIN-WILLIAMS PROMAR 200 ZERO VOC, INTERIOR LATEX PRIMER, BS28W02600.
 - FINISH COAT: SHERWIN-WILLIAMS PROMAR 400 INTERIOR LATEX FLAT, B30W451.
 - COLOR: SW7005 PURE WHITE

INTERIOR WOOD DOORS, JAMBS & FRAMES (METAL OR WOOD)

- FOR PAINT ONLY: TWO FINISH COATS OVER A PRIMER
- FOR STAIN: ONE COAT, UNLESS SECOND COAT IS NEEDED FOR A CONSISTENT FINISH THROUGHOUT.
 - SHERWIN WILLIAMS:
 - PRIMER: SHERWIN-WILLIAMS PROMAR 200 ZERO VOC, INTERIOR LATEX PRIMER, BS28W02600.
 - 1ST & 2ND COATS: SHERWIN-WILLIAMS PROCLASSIC WATERBORNE INTERIOR ACRYLIC SEMI-GLOSS ENAMEL, B31W51 SERIES
 - COLOR: INDICATED ON SHEET 4
 - OR**
 - SHERWIN WILLIAMS:
 - STAIN: SHERWIN-WILLIAMS MINWAX PERFORMANCE SERIES TINTABLE WOOD STAIN
 - COLOR: INDICATED ON SHEET 4.

EXTERIOR METAL DOORS, JAMBS & FRAMES

- TWO FINISH COATS OVER A PRIMER.
 - SHERWIN WILLIAMS:
 - PRIMER: SHERWIN-WILLIAMS DTM ACRYLIC PRIMER/FINISH, B66W1
 - 1ST & 2ND COATS: SHERWIN-WILLIAMS PROCLASSIC WATERBORNE INTERIOR ACRYLIC SEMI-GLOSS ENAMEL, B31W51 SERIES
 - COLOR: INDICATED ON SHEET 4

****DO NOT SCALE DRAWINGS****

****CONTRACTOR MUST HAVE (10) SHEETS FOR THIS SET OF DRAWINGS. IF YOU ARE MISSING ANY SHEETS, PLEASE CONTACT CONSTRUCTION MANAGER.**

6850 W 52ND AVE., SUITE 103,
ARVADA, CO 80002-3955

SQUARE FOOTAGE: 1492 USF | TBD RSF

Edward Jones

BRANCH REAL ESTATE

BRANCH OFFICE: 41843

DATE: 2024.04.19

EXHIBIT A
FINISH
SPECIFICATIONS

SHEET

9

of 10

EDWARD JONES GENERAL BUILDING AND FINISH SPECIFICATIONS

11. ELECTRICAL

- A. ELECTRICAL TO INCLUDE OUTLETS AS SHOWN ON EXHIBIT A, INCLUDING DEDICATED OUTLET AS SHOWN.
 - 1. GENERAL PURPOSE OUTLETS
 - ALL OUTLETS TO BE PLACED AS SHOWN ON DRAWING.
 - ONE (1) QUAD OR (2) DUPLEXES AT FUTURE WORKSTATION LOCATION AND (2) QUAD OUTLETS AT BOA WORKSTATION.
 - AT ALL TERMINALS AND OTHER OFFICE EQUIPMENT AS SHOWN ON THE PLAN.
 - 2. DEDICATED OUTLET
 - DEFINITION: A DEDICATED OUTLET IS WIRED DIRECTLY TO THE MAIN POWER DISTRIBUTION PANEL THROUGH A DESIGNATED (DEDICATED) CIRCUIT BREAKER. THE DEDICATED OUTLETS ARE COLOR CODED TO DISTINGUISH THEM FROM GENERAL-PURPOSE OUTLETS. ONLY THE BOC SHOULD BE PLUGGED INTO THE DEDICATED OUTLET. THE TECHNICAL INFORMATION FOR THIS OUTLET IS AS FOLLOWS:
 - ONE DEDICATED OUTLET (SIMPLEX, NOT DUPLEX) REQUIRED FOR THE BOC
 - OUTLET TO BE STANDARD 3-PRONG, 120 VOLT, 20 AMP, DEDICATED CIRCUIT.
 - OUTLET TO BE SIMPLEX, ORANGE COLOR CODED RECEPTACLE (NEMA TYPE 5-15 R/G OUTLET, GE5362-IG OR EQUIVALENT).
 - ALL GROUNDS MUST HAVE SAME GROUND POTENTIAL.
 - 3. RECESSED OUTLET (IF APPLICABLE)
 - LEVITON RECESSED ONE-GANG DUPLEX RECEPTACLE (15A-125VAC 2-POLE, 3-WIRE-NEMA 5-15R) - CAT NO. 689 TO INCLUDE ELECTRICAL BOX.
 - CATALOG NO. 012-00689-00W; UPC NO. 07847731284 1
 - IF ABOVE SPECIFICATION IS UNAVAILABLE, FIND COMPARABLE ALTERNATIVE
- B. ALL OUTLETS TO BE 110 VOLT STANDARD 3-PRONG OUTLETS THAT MEET STATE AND LOCAL REQUIREMENTS (NEMA TYPE 5-15R). THE GROUNDING CONDUCTORS FOR THE BUILDING'S CIRCUITS SHOULD BE REFERENCED TO THE POINT OF "ZERO CURRENT" WITHIN THE ELECTRICAL SUPPLY SYSTEM, WHICH IS WHERE THE NEUTRAL AND GROUND FOR THE SYSTEM ARE TIED TOGETHER.
- C. EXISTING OUTLETS CAN BE USED TO MEET THE REQUIREMENTS FOR GENERAL-PURPOSE OUTLETS ONLY. VERIFY EXISTING OUTLETS TO REMAIN ARE IN WORKING ORDER, AND IF WITHIN 6" OF A NEW OUTLET LOCATION INDICATED, NO NEW OUTLET IS NEEDED.
- D. NEW ELECTRICAL OUTLETS TO BE INSTALLED WHERE SHOWN ON PLANS AT 18" A.F.F., U.N.O..
- E. DEMO/REMOVE OUTLETS ABOVE 18" A.F.F. U.N.O. ON PLANS.
- F. INSTALL OR REPLACE ALL OUTLET AND LIGHT COVERS/SOCKETS WITH WHITE THROUGHOUT, U.N.O..
- G. ALL COMPUTER EQUIPMENT FOR THIS OFFICE IS SENSITIVE TO HIGH ELECTROMAGNETIC INTERFERENCE (EMI). IT IS RECOMMENDED THAT THE AMBIENT EMI IN THE OFFICE DOES NOT EXCEED 2 MG. PLEASE NOTIFY DESIGNER IMMEDIATELY IF SITE IS LOCATED NEAR EXISTING POWER LINES, TRANSFORMERS, SUB-STATIONS, ETC.
- H. LANDLORD RESPONSIBLE FOR SETTING UP UTILITIES OR PROVIDING TEMPORARY ELECTRICAL IN SPACE THAT IS NEW CONSTRUCTION OR SPACE THAT IS BEING SUBDIVIDED. GENERAL CONTRACTOR IS RESPONSIBLE FOR ASSURING TEMPORARY POWER FOR ALL FINISH OUT WORK IF NOT ALREADY PROVIDED.
- I. ELECTRICAL CONTRACTOR TO VERIFY EXISTING ELECTRICAL PANEL WILL ACCOMMODATE EDWARD JONES REQUIREMENTS OF 200 AMPS; UPGRADE AS REQUIRED.
- J. CONTRACTOR TO INSTALL 2'X3' MINIMUM BACKER BOARD OF FRT PLYWOOD AT BOC LOCATION. BOARD TO BE PAINTED TO MATCH THE WALL WHEN THE WALL IS SCHEDULED FOR PAINT PER THE FINISH SCHEDULE. CONFIRM WITH FIRE MARSHALL PRIOR TO PAINTING AND LEAVE RATING STAMP EXPOSED WHENEVER REQUIRED. BOARD TO BE INSTALLED AT 36" A.F.F. TO THE BOTTOM AT THE LOCATION SHOWN ON THE PLAN. REFER TO SHEET 3 FOR LOCATION ON PLAN.
- K. ELECTRICIAN TO INSTALL 3/4" CONDUIT & BOX WITH PULL STRING OR MUD RING (EXISTING WALL) AT ALL LOCATIONS (SEE SECTION 12 BELOW) WITH LOW VOLTAGE COMMUNICATION CONNECTIONS. INSTALL (1) SINGLE GANG BOX AT EACH LOCATION INDICATED ON THE DRAWING WITH A TRIANGLE (▼ OR ▽). DO NOT INSTALL A DOUBLE GANG BOX AT LOCATIONS WHERE (2) SYMBOLS ARE ADJACENT. REFER TO LEGEND AND PLANS ON EXHIBIT A FOR LOCATIONS OF DOUBLE GANG BOXES.

12. LOW VOLTAGE (ALSO KNOWN AS PHONE/DATA CABLING)

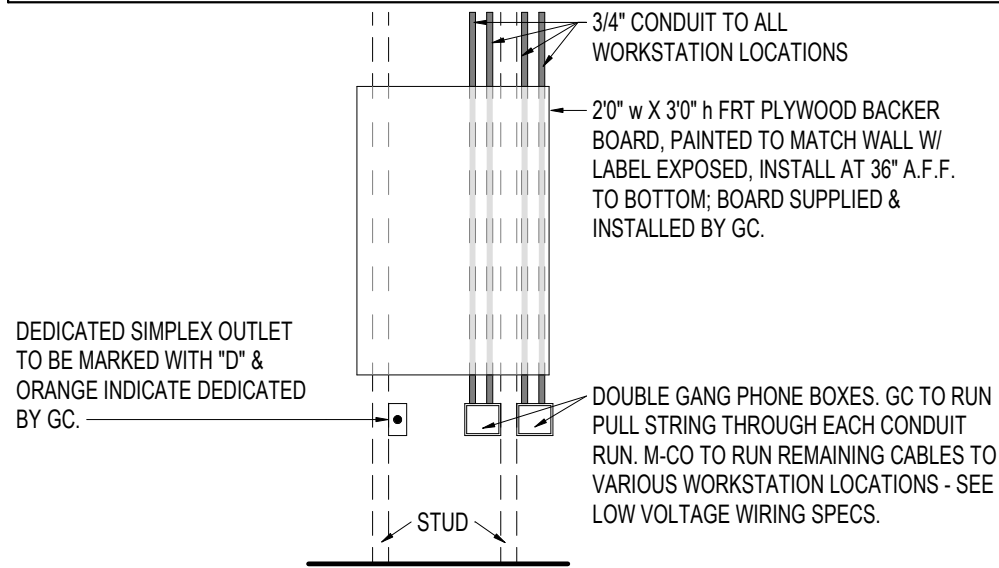
- LOW VOLTAGE WIRING (ALSO KNOWN AS PHONE/DATA CABLING)
 - A. LOW VOLTAGE IMPLIES THE ACTUAL WIRE OR CABLE THAT IS RUN FROM THE BOC TO EACH PHONE, COMPUTER, PRINTER, AND FUTURE WORKSTATION LOCATION, WITH THE EXCEPTION OF ANY DEMARC EXTENSION IF NOTED. LOW VOLTAGE WORK IS DONE BY EDWARD JONES BRANCH INSTALL DEPT. THROUGH A PREFERRED NATIONAL VENDOR. THIS WORK IS DONE AFTER THE SPACE IS TURNED OVER TO CLIENT. CONTRACTOR ONLY RESPONSIBLE FOR GANG BOXES, AV FACEPLATES, CONDUIT, AND PULLSTRINGS AS NOTED IN NEXT SECTION.
 - B. IF LOW VOLTAGE WORK IS REQUIRED TO BE PERMITTED AND INSPECTED AS NOTED ON EXHIBIT A, GENERAL CONTRACTOR IS TO COORDINATE THE INSTALLATION WITH EDWARD JONES; CONTACT LEASING COORDINATOR/PROJECT MANAGER LISTED ON SHEET 1. NOTE THAT PRE-WIRE IS NOT STANDARD AND IS ONLY DONE WHEN REQUIRED VS. BEING DONE FOR CONVENIENCE. PREWIRE WILL BE REQUIRED IF CEILING HEIGHT IS OVER 9'-0" IN U.S. AND OVER 10'-0" IN CANADA; AND/OR IF INDICATED ON SHEET 3. IF A PREWIRE IS INDICATED ON SHEET 3, GC TO CONTACT EDWARD JONES BRANCH INSTALL AT BRINSTALL@EDWARDJONES.COM WHEN PROJECT IS READY FOR LOW VOLTAGE PRE-WIRE.
 - C. NOTIFY LEASING COORDINATOR/PROJECT MANAGER OF LOW VOLTAGE REQUIREMENTS NEEDED IN ORDER TO OBTAIN CERTIFICATE OF OCCUPANCY.
 - 1. ELECTRICAL BOXES - 4X2-1/8D HANDY BOX MUST BE USED, PER DIAGRAM BELOW FOR ALL LOW VOLTAGE APPLICATIONS IN NEW WALLS AND CONCRETE WALLS.
 - 2. MUD RINGS - MPLS METAL SINGLE GANG DRYWALL MOUNTING PLATE, PER DIAGRAM BELOW FOR ALL LOW VOLTAGE APPLICATIONS IN EXISTING WALLS.

CONDUIT-DEMISED PREMISES

- A. CONDUIT STUB-UPS TO BE INSTALLED IN NEW WALLS WHERE PHONE/DATA/PRINTERS ARE SHOWN ON THE FLOOR PLAN (INDICATED BY TRIANGLE ▼) IF THE NEW CEILING IS DRYWALL, INSTALL CONDUIT FROM THE POINT OF CONNECTION (PHONES/DATA/PRINTER LOCATIONS INDICATED WITH ▼) AND STUB ABOVE CEILING WITH PULL STRING RUN TO THE POINT OF TERMINATION (CLIENT SERVER OR BOC).
- B. CONFIRM ACTUAL LOCATIONS ON EXHIBIT A PRIOR TO INSTALLATION. EXISTING CONSTRUCTION--CONDUIT NOT TO BE DONE IF IT REQUIRES REMOVAL OF DRYWALL PARTITIONS OR CEILINGS, UNLESS PRIOR APPROVAL RECEIVED FROM EDJ DESIGNER. IF WIREMOLD PRODUCT IS REQUIRED, INSTALL PANDUIT RACEWAY LD10E16-A.
- C. PROVIDE ONE SINGLE GANG BOX (ONE PER TRIANGLE ▼) AND PULL STRING AT EACH CONDUIT LOCATION. LABEL PULL STRINGS AT POINT OF TERMINATION (BOC) WITH ROOM NUMBER OF POINT OF CONNECTION. RECEPTACLES AND FACEPLATES TO BE PROVIDED BY EDWARD JONES BRANCH INSTALL.
- D. IF APPLICABLE, PROVIDE ONE SINGLE GANG BOX AND BRUSH CABLE PASS-THRU FACEPLATE (ONE PER TRIANGLE ▽) WITH PULL-STRING BETWEEN AV GANG BOXES FOR FUTURE FA-PROVIDED AV CABLING.
- E. IF WALLS ARE EXISTING AND CONDUIT IS NOT INSTALLED, PROVIDE PULL STRING AND CUT IN A NEW BOX AT THE SAME LOCATIONS.
- F. STANDARD STUB-UP QUANTITY: AS LISTED BELOW, UNLESS NOTED OTHERWISE ON PLANS - INDICATED BY TRIANGLE SYMBOL ON FLOOR PLANS.
 - 1. 3/4" CONDUIT LOCATIONS
 - (2) AT WELCOME DESK (101)
 - (1) AT EACH FA OFFICE (102A-F)
 - (1) AT OPEN 106 OR AS INDICATED ON PLAN
 - 2. ADDITIONAL MAY BE NEEDED IF ADDITIONAL DATA PORTS ARE SHOWN ON PLAN.
- G. ALL BOXES AND CONDUIT AT BOC LOCATION TO BE INSTALLED PER DETAIL. #6 GROUND WIRE MUST BE INSTALLED AND TERMINATED ON A BUSBAR FOR #6 WIRE MOUNTED ON THE BOTTOM CORNER OF THE BACK BOARD. THE BUSBAR SHOULD HAVE 4 TO 6 TERMINALS.
- H. CONTACT BRANCH REAL ESTATE IMMEDIATELY IF THERE ARE ANY QUESTIONS REGARDING THE NUMBER OF PHONES LINES.

BOC REQUIREMENTS:

NOTE: CONDUIT IS INSTALLED INSIDE WALL. IF WALL IS EXISTING, CONDUIT MAY BE SURFACE MOUNTED. MUST HAVE ROOM FOR EQUIPMENT TO INSTALL ON PLYWOOD. (SEE KEYED NOTE #1 ON SHEET 3)

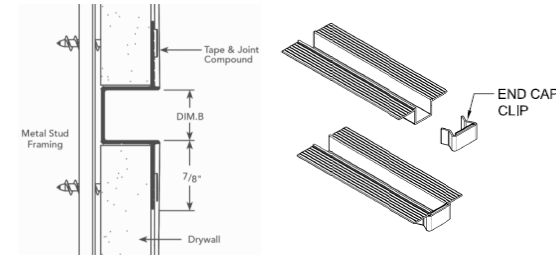


13. MISCELLANEOUS (ONLY IF SHOWN ON SHEET 3)

- A. FIXED WINDOW
 - 1. NEW INTERIOR WINDOW BETWEEN FA OFFICE AND BOA AREA TO BE A FIXED, 42"W X 30"H AND INSTALLED AT 42" A.F.F., UNLESS NOTED OTHERWISE; FRAME TO MATCH DOOR FRAMES.
 - 2. GLASS TO BE CLEAR, 1/4" TEMPERED STATIONARY PANEL. GLIDERS AND MIRRORING WINDOWS NOT ALLOWED.
- B. FIREPLACES, STOVES, SHOWERS, TUBS
 - 1. ALL GAS AND PLUMBING LINES TO THESE ELEMENTS/FIXTURES TO BE RENDERED INOPERABLE AND ALL LINES TO BE CAPPED.
 - 2. IF WOOD BURNING FIREPLACE EXISTING GC TO INSTALL COVER MADE FROM LUMBER AND DRYWALL THAT RESTS INSIDE THE OPENING AND DOES NOT DAMAGE THE FIREPLACE.

14. EDWARD JONES STANDARD SIGNAGE

- A. FOR ORDERING & INSTALL INSTRUCTIONS, SEE CONTACT INFO ON SHEET 1
- B. EDJ LOGO
 - 1. EDJ LOGO LETTERING TO BE ORDERED BY CONTRACTOR, BUT WILL BE PAID FOR BY EDWARD JONES. ONLY INSTALLATION SHOULD BE INCLUDED IN CONTRACTOR'S SCOPE OF WORK.
 - 2. LETTERING TO BE CENTERED ON PARTITION AS SHOWN ON FINISH PLAN ON SHEET 4. REFER TO SIGNAGE ELEVATION FOR MOUNTING HEIGHT.
 - 3. CONTRACTOR TO USE PROVIDED TEMPLATE FOR ACCURATE ALIGNMENT, ALLOW AT LEAST 2" ON EITHER SIDE OF LETTERING. IF PARTITION SELECTED DOES NOT MATCH ELEVATION, NOTIFY DESIGNER IMMEDIATELY.
- C. BRAND WALL METAL REVEAL (IF APPLICABLE, SEE SHEET 4)
 - 1. CONTRACTOR TO ORDER METAL REVEAL (EDJ-625-625) FROM FRY REGLET AND INSTALL PER MANUFACTURER INSTRUCTIONS. REFERENCE FINISH PLAN AND SIGNAGE ELEVATION ON SHEET 4.
 - a. REVEAL AVAILABLE IN 10' STANDARD LENGTHS ONLY. 10' REVEAL TO BE CENTERED IF WALL IS LONGER THAN 10', U.N.O. ON PLAN. SEE FINISH PLAN ON SHEET 4 FOR DIMENSIONS OF REVEAL.
 - b. INSTALL END CAP CLIP WHERE APPLIES AT OPEN ENDS



15. INTERIOR CASEWORK AND EQUIPMENT

- A. REFER TO SHEET 3 FOR CASEWORK SCOPE OF WORK.
- B. CONTRACTOR TO PROVIDE SHOP DRAWINGS OF ALL CASEWORK SCOPE OF WORK. SEND TO CONSTRUCTION MANAGER FOR REVIEW / APPROVAL.
- C. ALL CASEWORK TO BE MADE UP OF 3/4" PLYWOOD WITH PLASTIC LAMINATE ON ALL EXPOSED EDGES, AND BLACK MELAMINE INTERIOR. INTERIOR ADJUSTABLE SHELVING TO BE MADE UP OF 3/4" PLYWOOD WITH BLACK MELAMINE ON ALL EXPOSED EDGES.
- D. CASEWORK TOE KICK TO BE MATCHING VINYL BASE TYPICAL, U.N.O. ON ELEVATIONS.
- E. CASEWORK TO INCLUDE SOFT-CLOSE HINGES AND DRAWER SLIDES AS APPLICABLE.
- F. CABINET PULLS TO BE 3" CENTER-TO-CENTER, BRUSHED NICKEL T-BAR PULLS
 - BASIS OF DESIGN: HOME DEPOT, ROK SKU #1002920741.
 - OR COMPARABLE ALTERNATE (CONTACT CONSTRUCTION MANAGER FOR APPROVAL).
- G. REFER TO SHEET 6, ELEVATIONS AND CASEWORK FINISH SCHEDULE, FOR EXACT FINISHES FOR CASEWORK.
- H. ALL WOOD-LOOK CASEWORK LAMINATE TO RUN VERTICALLY, U.N.O. ON ELEVATIONS.
- I. ALL ELECTRICAL, PLUMBING, AND PLUMBING FIXTURES FOR KITCHENETTES AND COFFEE BARS TO BE PROVIDED AND INSTALLED BY CONTRACTOR. SEE SCHEDULE ON SHEET 6.
- J. ALL APPLIANCES FOR KITCHENETTES AND COFFEE BARS TO BE PROVIDED AND INSTALLED BY FINANCIAL ADVISOR.
- K. ALL CASEWORK TO BE BUILT TO COMPLY WITH ADA AND BUILDING ACCESSIBILITY CODE

16. WINDOW TREATMENTS

- A. REFER TO SHEET 3 FOR WINDOW TREATMENT SCOPE OF WORK, AND SHEET 4 FOR FINISH SPECIFICATION.
- B. ALL ROLLER SHADES AND BLINDS TO COME WITH 3" FASCIA TO MATCH.
- C. IF APPLICABLE, NEW WINDOW TREATMENTS TO BE INSTALLED AT CONSTRUCTION COMPLETION, BUT PRIOR TO FINAL PUNCH LIST
- D. FOR ORDERING & INSTALL, SEE CONTACT INFO ON SHEET 1.

****DO NOT SCALE DRAWINGS****

****CONTRACTOR MUST HAVE (10) SHEETS FOR THIS SET OF DRAWINGS. IF YOU ARE MISSING ANY SHEETS, PLEASE CONTACT CONSTRUCTION MANAGER.**

6850 W 52ND AVE., SUITE 103,
ARVADA, CO 80002-3955

Edward Jones
BRANCH REAL ESTATE

BRANCH OFFICE: 41843
DATE: 2024.04.19

EXHIBIT A
FINISH
SPECIFICATIONS

SHEET **10** of 10

SQUARE FOOTAGE: 1492 USF | TBD RSF