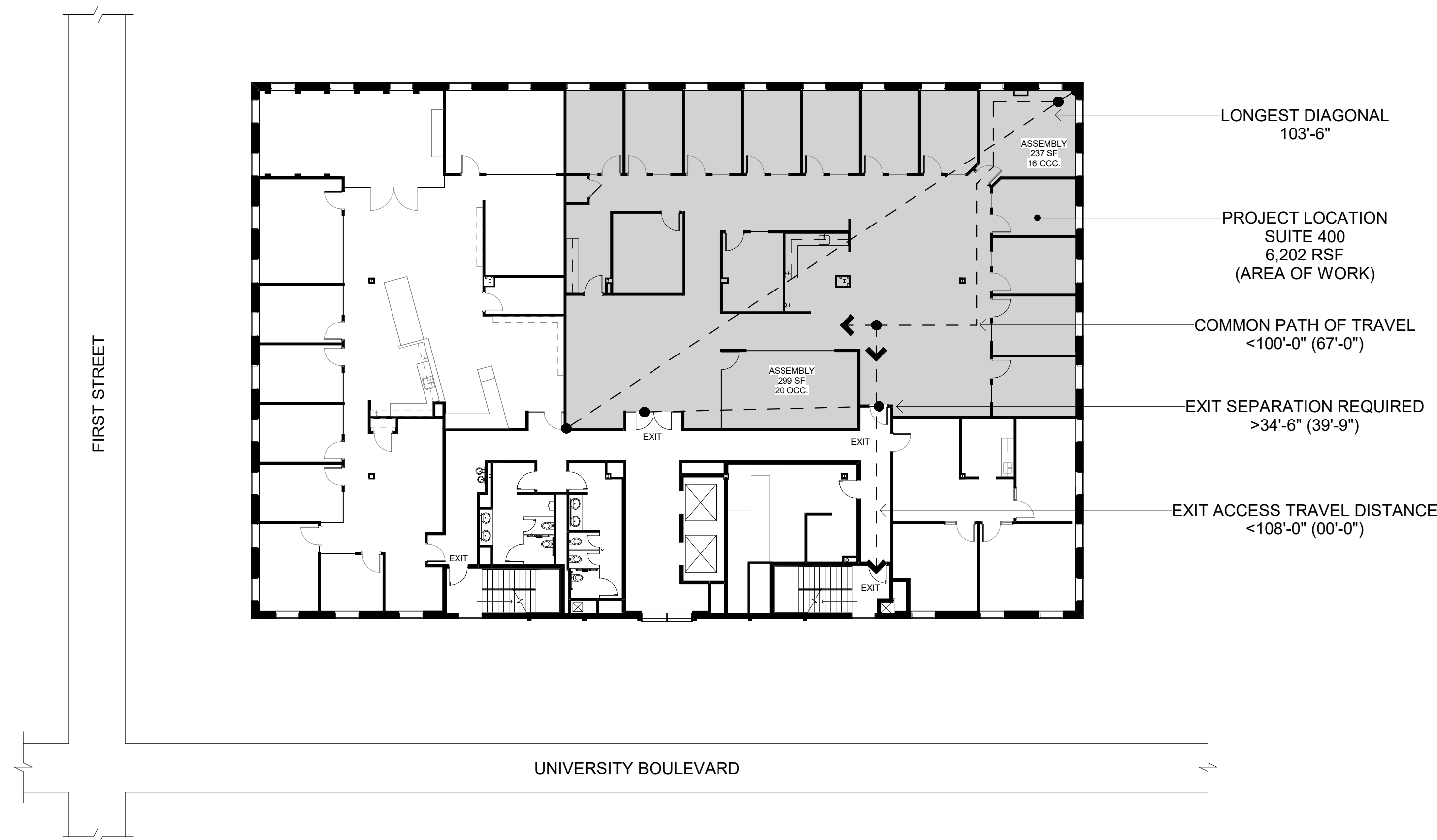


LEWIS RINGELMAN, P.C.

101 UNIVERSITY
FOURTH FLOOR - SUITE 400
101 UNIVERSITY BOULEVARD
DENVER, COLORADO 80206



KEY PLAN

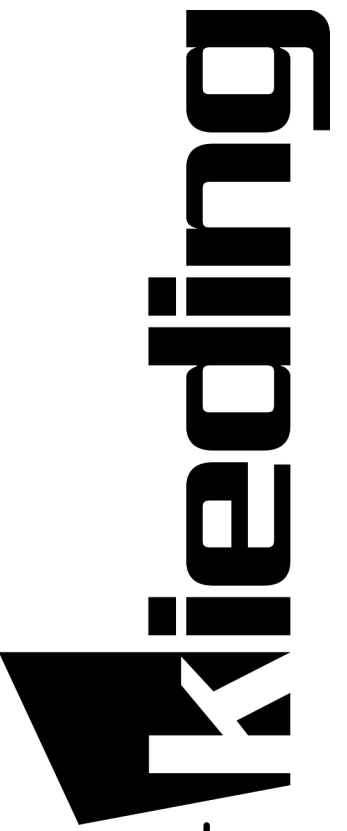
Scale: 1/16" = 1'-0"

0' 8' 16'



NORTH

DRAWING INDEX	BUILDING CODE ANALYSIS
ARCHITECTURAL DRAWINGS: 04 / A0.1 COVER SHEET 04 / A0.2 GENERAL NOTES 04 / A0.3 GENERAL NOTES 04 / A0.4 GENERAL NOTES 04 / A0.5 GENERAL WALL DETAILS 04 / A0.6 ICC/ANSI A117.1-2017 DETAIL SHEET 04 / D.1 DEMOLITION PLAN 04 / D.2 REFLECTED CEILING DEMOLITION PLAN 04 / A.1 DIMENSION PLAN 04 / A.2 PARTITION PLAN 04 / A.3 OUTLET LOCATION PLAN 04 / A.4 REFLECTED CEILING PLAN 04 / A.5 FINISH PLAN 04 / A.6 ELEVATIONS & SECTIONS MECHANICAL DRAWINGS: 04 / M.1 MECHANICAL SPECIFICATIONS & LEGEND 04 / M.2 MECHANICAL SCHEDULES & DIAGRAM 04 / M.3 MECHANICAL DEMOLITION PL 04 / M.4 MECHANICAL PLAN 04 / P.1 PLUMBING SPECIFICATIONS & LEGEND 04 / P.2 PLUMBING SCHEDULES & DIAGRAMS 04 / P.3 PLUMBING DEMOLITION PLAN 04 / P.4 PLUMBING PLAN ELECTRICAL DRAWINGS: 04 / E.1 ELECTRICAL SPECIFICATIONS & LEGEND 04 / E.2 ONE-LINE DIAGRAM & PANEL SCHEDULES 04 / E.3 COMCHECK 04 / E.4 ELECTRICAL DEMOLITION PLAN 04 / E.5 POWER PLAN 04 / E.6 LIGHTING PLAN	JURISDICTION: CITY OF DENVER DENVER FIRE DEPARTMENT APPLICABLE CODES: BUILDING CODE: 2021 IBC WITH 2022 AMENDMENTS PLUMBING CODE: 2021 IPC MECHANICAL CODE: 2021 IMC ELECTRICAL CODE: 2023 NEC ENERGY CONSERVATION CODE: 2021 IECC FIRE/LIFE SAFETY: 2021 IFC ACCESSIBILITY: 2017 ICC/ANSI A117.1 BUILDING DESCRIPTION: 1. ORIGINAL BUILDING PERMIT DATE: 1985 2. TYPE OF CONSTRUCTION: II-B 3. NO. OF STORIES: 4 4. SPRINKLERED: YES THROUGHOUT: YES
	SCOPE OF WORK Remodel of existing suite. No change of use, no change of occupancy.
	OCCUPANT LOAD SUMMARY SUITE 400 (Area of Work) 6,202 RSF 1. OCCUPANCY: A. GROUP B B. USE OFFICE C. FACTOR 1 PER 150 D. SF OF OCCUPANCY 5,666 E. LOAD 38 2. ASSEMBLY OCCUPANCY: A. GROUP B B. USE ASSEMBLY C. FACTOR 1 PER 15 D. SF OF OCCUPANCY 536 E. LOAD 36 3. TOTAL OCCUPANTS FOR SUITE: 74 4. EXITS REQUIRED: 2 5. EXITS PROVIDED: 2
PROJECT DIRECTORY TENANT: Lewis Ringelman, P.C. 2401 East 2nd Avenue, Suite 500 Denver, Colorado 80206 Telephone: 720.734.2020 BUILDING OWNER / PROPERTY MANAGER: MDC Realty Advisors 101 South University Boulevard Denver, Colorado 80202 Telephone: 720.399.1461 Contact: jbackstrom@mdora.com Email: Justin Backstrom ARCHITECT: Kieding 4725 South Monaco Street, Suite 225 Denver, Colorado 80237 Telephone: 303.399.9100 Contact: Tia Jenkins Email: tjenkins@kieding.com Contact: Annie Khong Email: akhong@kieding.com MECHANICAL ENGINEER: MEP Engineering, Inc. 6402 South Troy Circle, Suite 100 Centennial Colorado 80111 Telephone: 303.936.1633 Contact: Travis Middlebrooks Email: travis@mep-eng.com ELECTRICAL ENGINEER: MEP Engineering, Inc. 6402 South Troy Circle, Suite 100 Centennial Colorado 80111 Telephone: 303.936.1633 Contact: Brian Clement Email: brian@mep-eng.com	
GENERAL CONDITIONS CONSTRUCTION DOCUMENT APPROVAL APPROVAL APPLIES TO ALL SHEETS LISTED IN THE DRAWING INDEX. USE OF THESE PLANS AND DOCUMENTS FOR MATERIALS ORDERING AND CONSTRUCTION REQUIRE APPROVAL BY BUILDING OWNER AND TENANT. Construction work shall not proceed until the Building Owner and Tenant have given their approval to these construction documents. The Contractor shall be responsible for confirming that the Building Owner and the Tenant have approved these construction documents and for advising the Designer of any requested revisions by the Building Owner and / or Tenant. The Contractor shall be solely responsible for any work performed without the Building Owner's / Tenant's approval of these construction documents. Approval by these parties shall be interpreted as acceptance of the construction documents for content, scope of work and all dimensions and special requirements by either party as being necessary to their operations, use of space for furnishings / equipment installation, finished appearance and any agreements between the Building Owner and Tenant. Construction and/or initiation of construction authorized by the Building Owner from these construction documents, shall be interpreted by the Designer as approval in full of these construction documents by both the Building Owner and Tenant. APPROVED: Authorized Signature Only BUILDING OWNER: _____ DATE: _____ TENANT/CLIENT: _____ DATE: _____	



4725 South Monaco Street | Suite 225
Denver, Colorado 80237
303.399.9100

Contact - Tia Jenkins
Contact - Annie Khong

LEWIS RINGELMAN, P.C.
101 UNIVERSITY

FOURTH FLOOR - SUITE 400
101 UNIVERSITY BOULEVARD
DENVER, COLORADO 80206

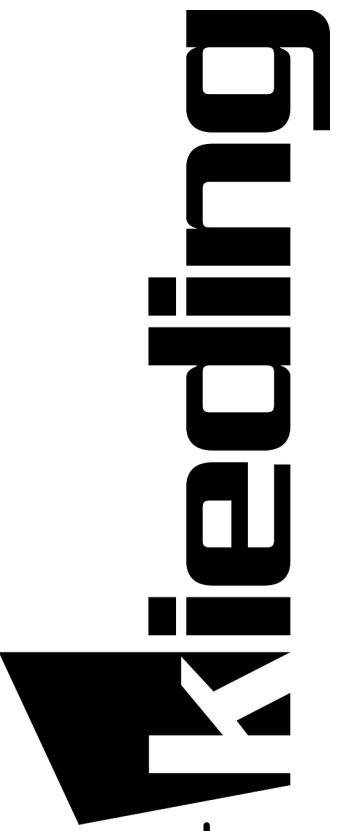
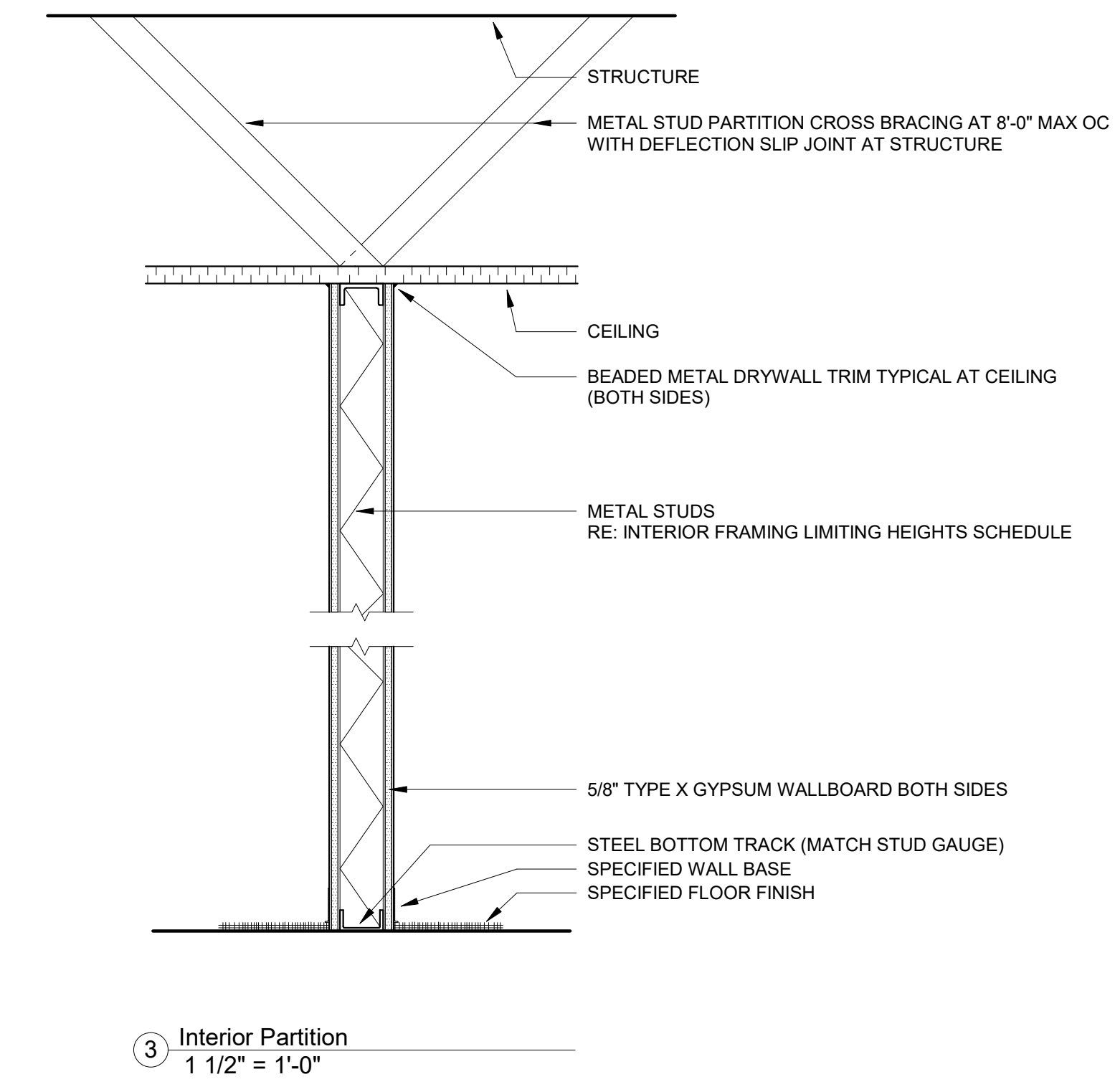
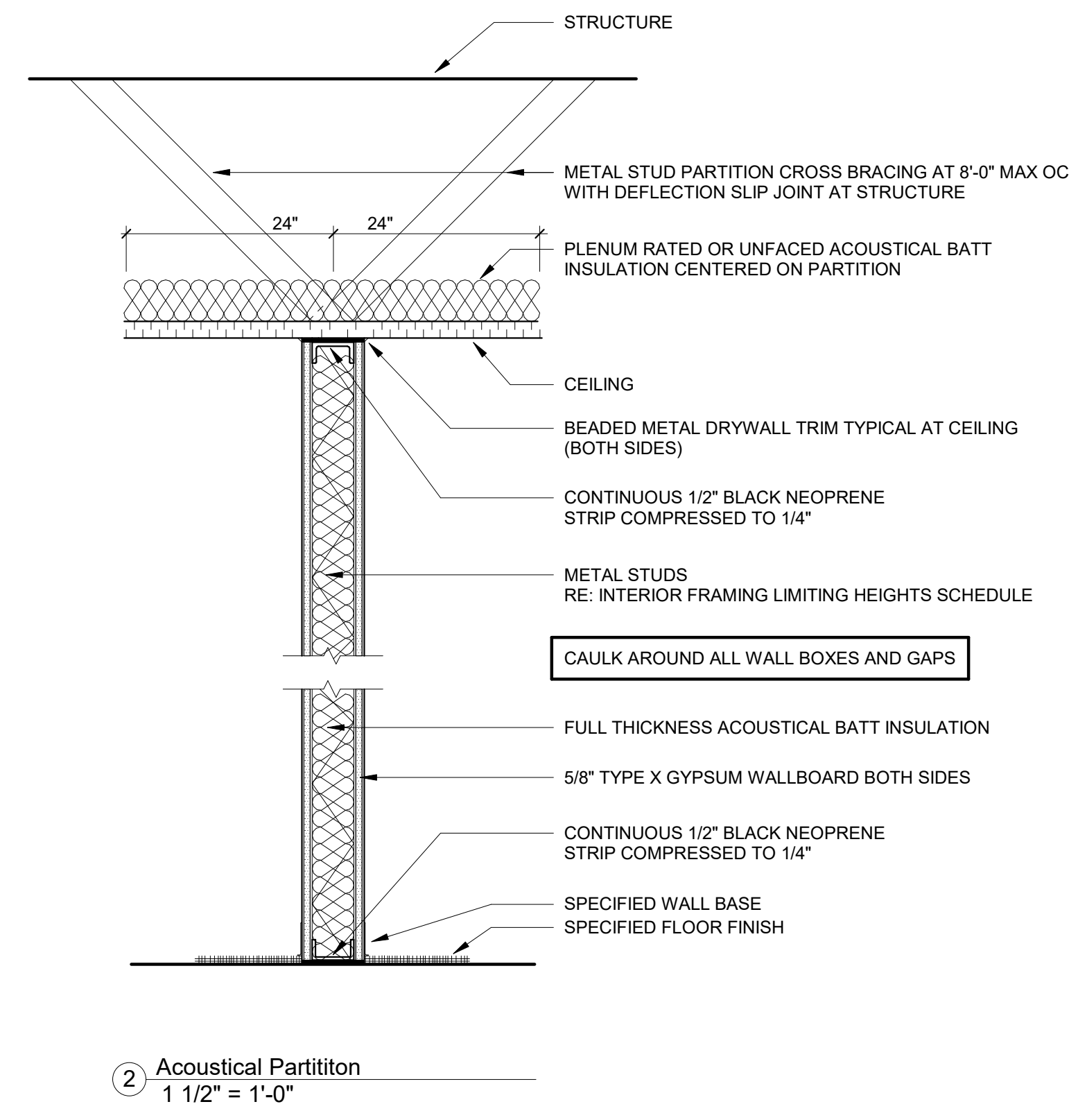
ISSUES / REVISIONS
JANUARY 14, 2025
57110139-71

COVER SHEET
04 / A0.1

General Contractor shall field verify all ceiling, deck and structural heights from slab prior to providing cost estimates for the project. For projects with existing partitions, the General Contractor shall verify wall thicknesses, and match, unless the thickness does not comply with height schedules per the most current edition of the USG gypsum handbook.
 Notify Architect of any heights in the field not listed in the USG Gypsum Construction Handbook, so that a licensed Structural Engineer can provide the proper specifications PRIOR to project bids or installation.

Interior Framing Limiting Heights
 Height Limitations for Non-Bearing Walls (L/240 allowable deflection)
 Minimum 1/2" gypsum board on each side, RE: Most current edition of the USG Gypsum Construction Handbook.

1 5/8" Studs @ 24" O.C.	1 5/8" Studs @ 16" O.C.
Gauge Max. Hgt.	Gauge Max. Hgt.
25 Ga. 7'-11"	25 Ga. 8'-4"
20 Ga. 8'-9"	20 Ga. 9'-8"
18 Ga. 9'-11"	
2 1/2" Studs @ 24" O.C.	2 1/2" Studs @ 16" O.C.
Gauge Max. Hgt.	Gauge Max. Hgt.
25 Ga. 10'-7"	25 Ga. 11'-3"
20 Ga. 11'-7"	20 Ga. 12'-10"
18 Ga. 11'-11"	
16 Ga. 12'-9"	
14 Ga. 13'-6"	
3 5/8" Studs @ 24" O.C.	3 5/8" Studs @ 16" O.C.
Gauge Max. Hgt.	Gauge Max. Hgt.
25 Ga. 13'-5"	25 Ga. 14'-4"
20 Ga. 14'-9"	20 Ga. 16'-5"
18 Ga. 15'-10"	
16 Ga. 16'-11"	
14 Ga. 18'-2"	
4" Studs @ 24" O.C.	4" Studs @ 16" O.C.
Gauge Max. Hgt.	Gauge Max. Hgt.
25 Ga. 14'-2"	25 Ga. 15'-4"
20 Ga. 16'-5"	20 Ga. 18'-4"
18 Ga. 17'-2"	
16 Ga. 18'-4"	
14 Ga. 19'-6"	
6" Studs @ 24" O.C.	6" Studs @ 16" O.C.
Gauge Max. Hgt.	Gauge Max. Hgt.
25 Ga. 16'-9"	25 Ga. 19'-9"
20 Ga. 21'-7"	20 Ga. 24'-6"
18 Ga. 24'-0"	
16 Ga. 26'-0"	
14 Ga. 28'-0"	



4725 South Monaco Street | Suite 225
 Denver, Colorado 80237
 303.399.9100

Contact - Tia Jenkins
 Contact - Annie Khiong

LEWIS RINGELMAN, P.C.

101 UNIVERSITY
 FOURTH FLOOR - SUITE 400
 101 UNIVERSITY BOULEVARD
 DENVER, COLORADO 80206

ISSUES / REVISIONS
 JANUARY 14, 2025
 57110139-71

GENERAL WALL DETAILS
 04 / A0.5

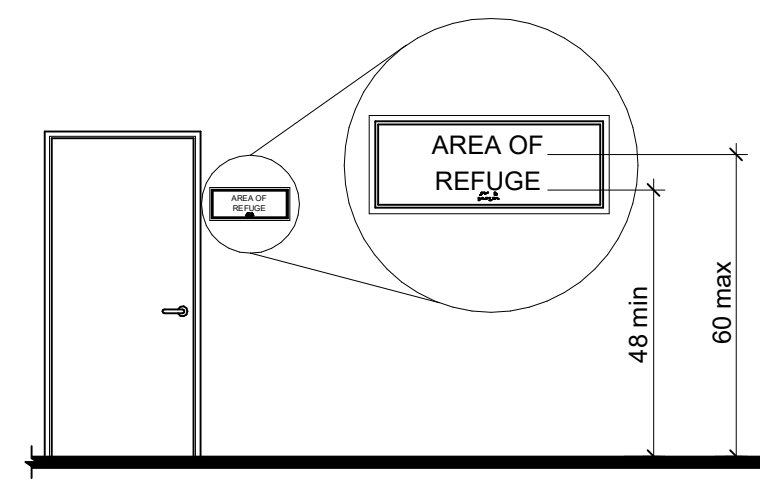


FIGURE 703.3.10
HEIGHT OF RAISED CHARACTERS ABOVE FLOOR

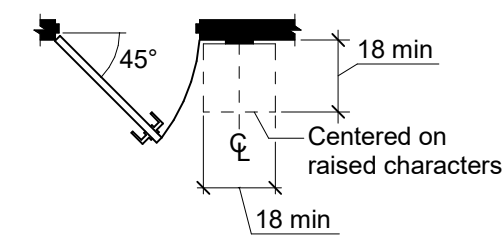


FIGURE 703.3.11
LOCATION OF SIGNS AT DOORS

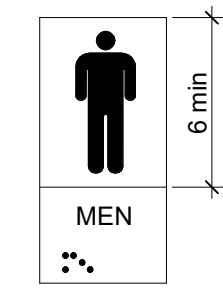


FIGURE 703.5
PICTOGRAM FIELD

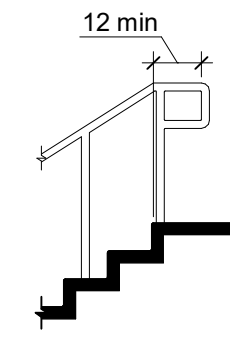


FIGURE 505.10.2
TOP HANDRAIL EXTENSION AT STAIRS

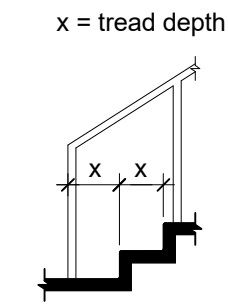


FIGURE 505.10.3
BOTTOM HANDRAIL EXTENSION AT STAIRS

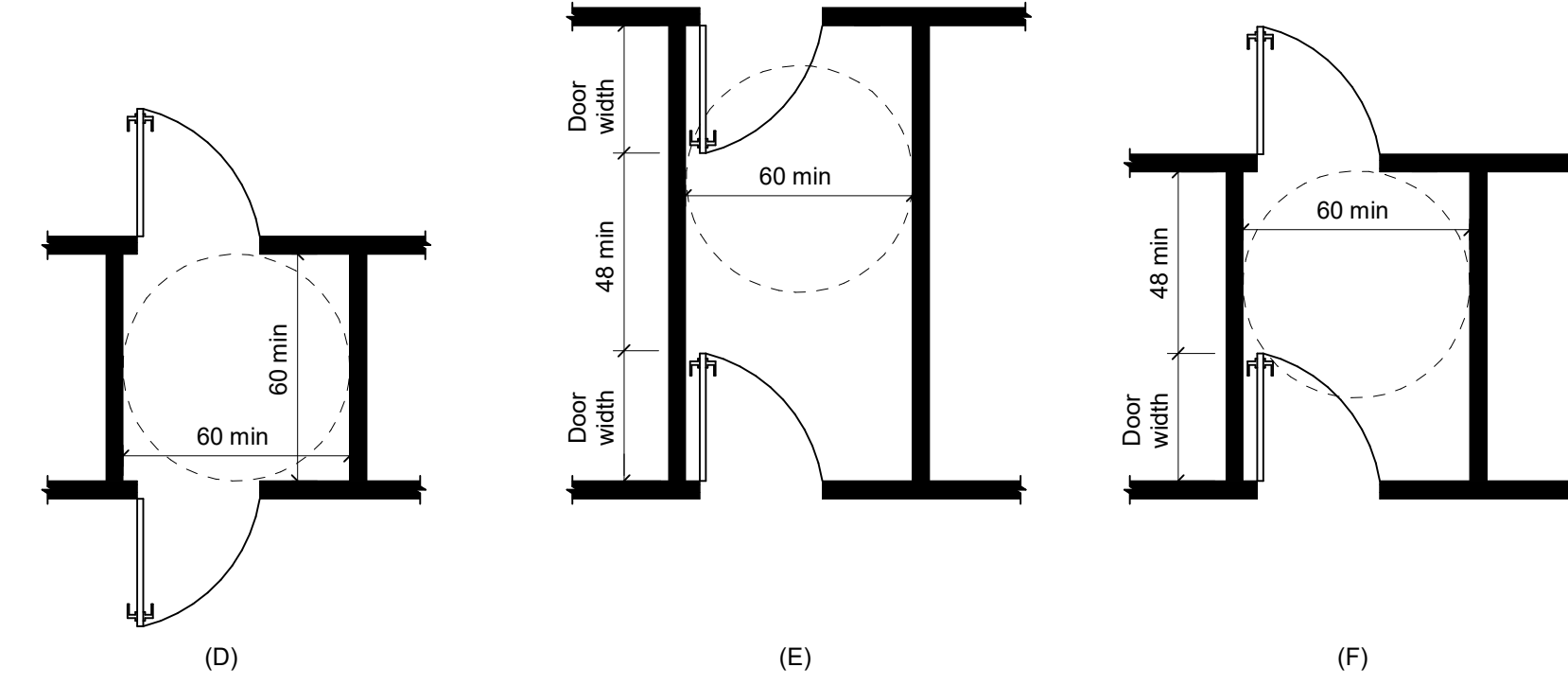
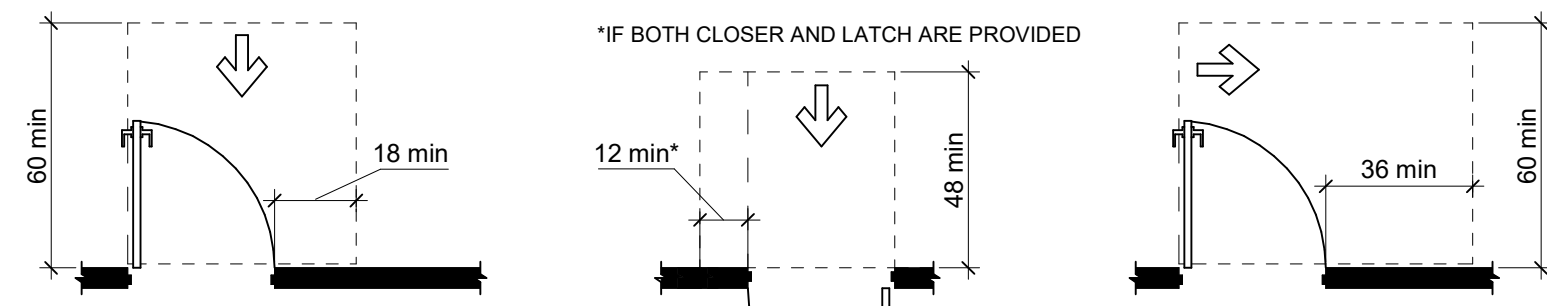


FIGURE 404.2.5
TWO DOORS OR GATES IN A SERIES - EXISTING BUILDINGS

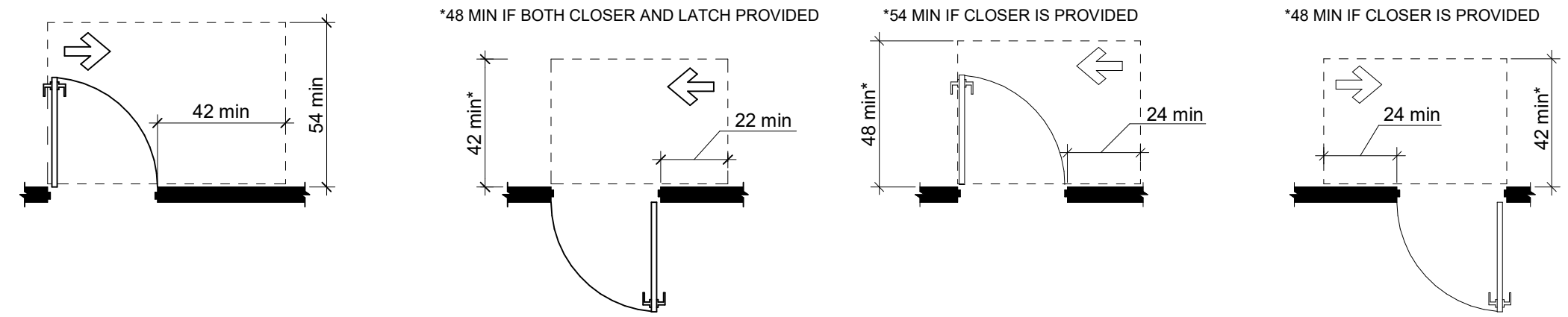
8 Signage Information and Mounting Location
1/4" = 1'-0"

7 Handrail Extensions
1/4" = 1'-0"

6 Maneuvering Space at Doors or Gates in a Series
1/4" = 1'-0"



(A) FRONT APPROACH - PULL SIDE (C) FRONT APPROACH - PUSH SIDE - EXISTING BUILDINGS (D) HINGE APPROACH - PULL SIDE



(E) HINGE APPROACH - PULL SIDE (F) HINGE APPROACH - PUSH SIDE (G) LATCH APPROACH - PULL SIDE (H) LATCH APPROACH - PUSH SIDE

FIGURE 404.2.3.2
MANEUVERING CLEARANCE AT MANUAL SWINGING DOORS

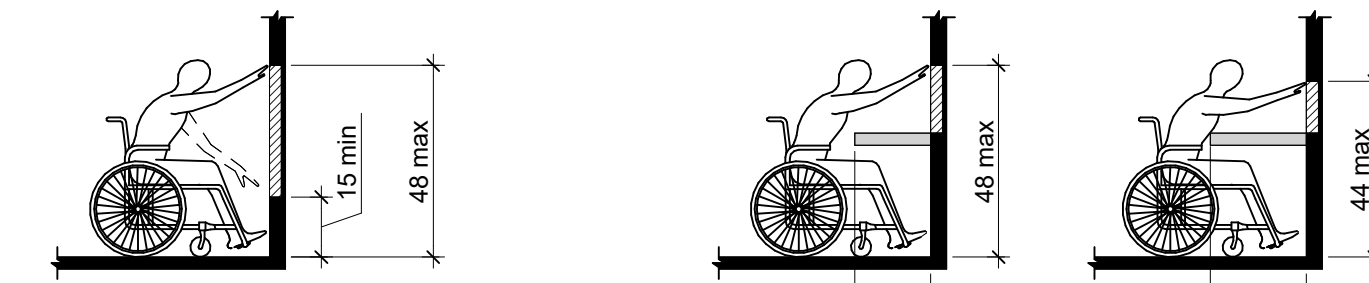


FIGURE 308.2.1
UNOBSTRUCTED FORWARD REACH

FIGURE 308.2.2
OBSTRUCTED HIGH FORWARD REACH

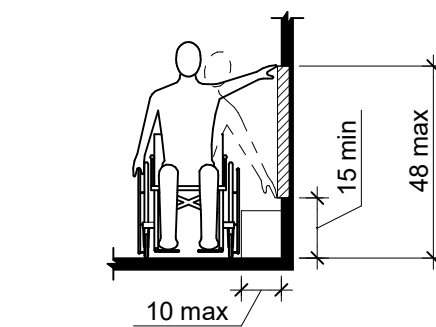


FIGURE 308.3.1
UNOBSTRUCTED SIDE REACH

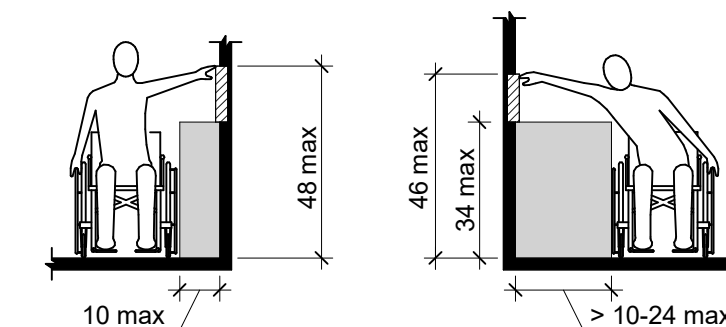


FIGURE 308.3.2
OBSTRUCTED HIGH SIDE REACH

5 Maneuvering Space at Doors
1/4" = 1'-0"

4 Reach Ranges
1/4" = 1'-0"

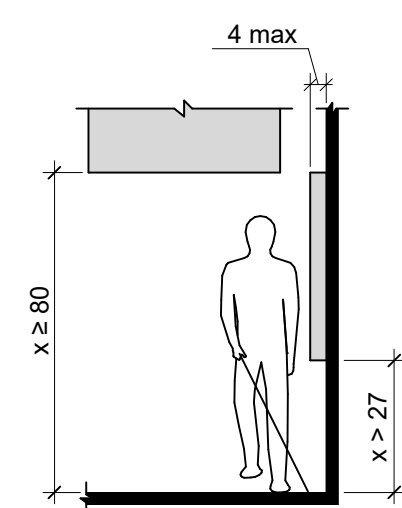


FIGURE 307.2
LIMITS OF PROTRUDING OBJECTS

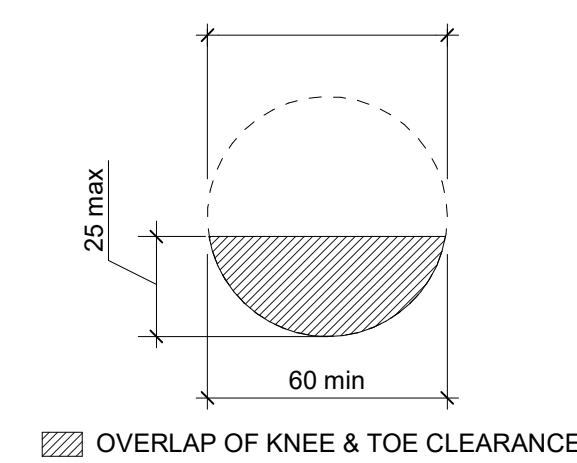


FIGURE 304.3.1.2
CIRCULAR TURNING SPACE - EXISTING BUILDINGS - SIZE AND OVERLAP

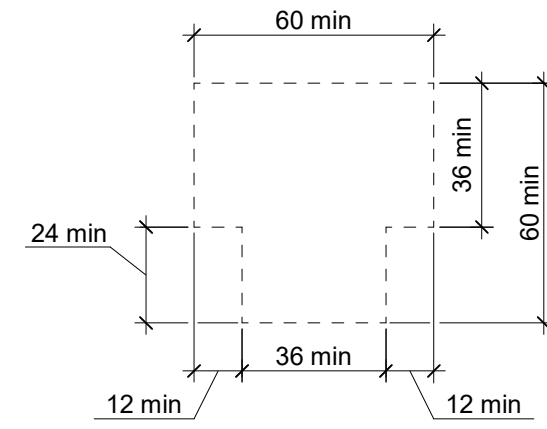


FIGURE 304.3.2.2
T-SHAPED TURNING SPACE - EXISTING BUILDINGS - SIZE

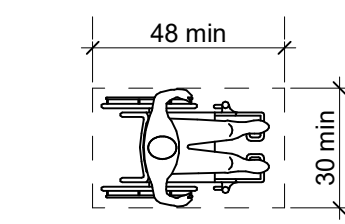


FIGURE 305.3.2
SIZE OF CLEAR FLOOR SPACE - EXISTING BUILDINGS

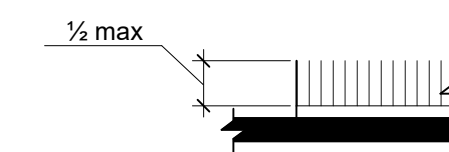


FIGURE 302.2
CARPET ON FLOOR SURFACES

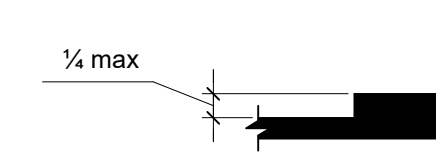


FIGURE 303.2
VERTICAL CHANGE IN LEVEL

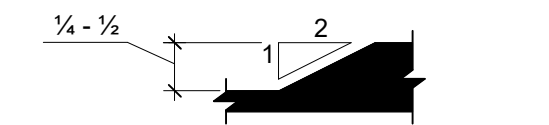
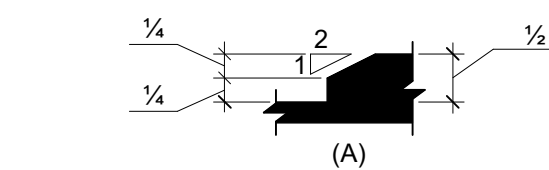
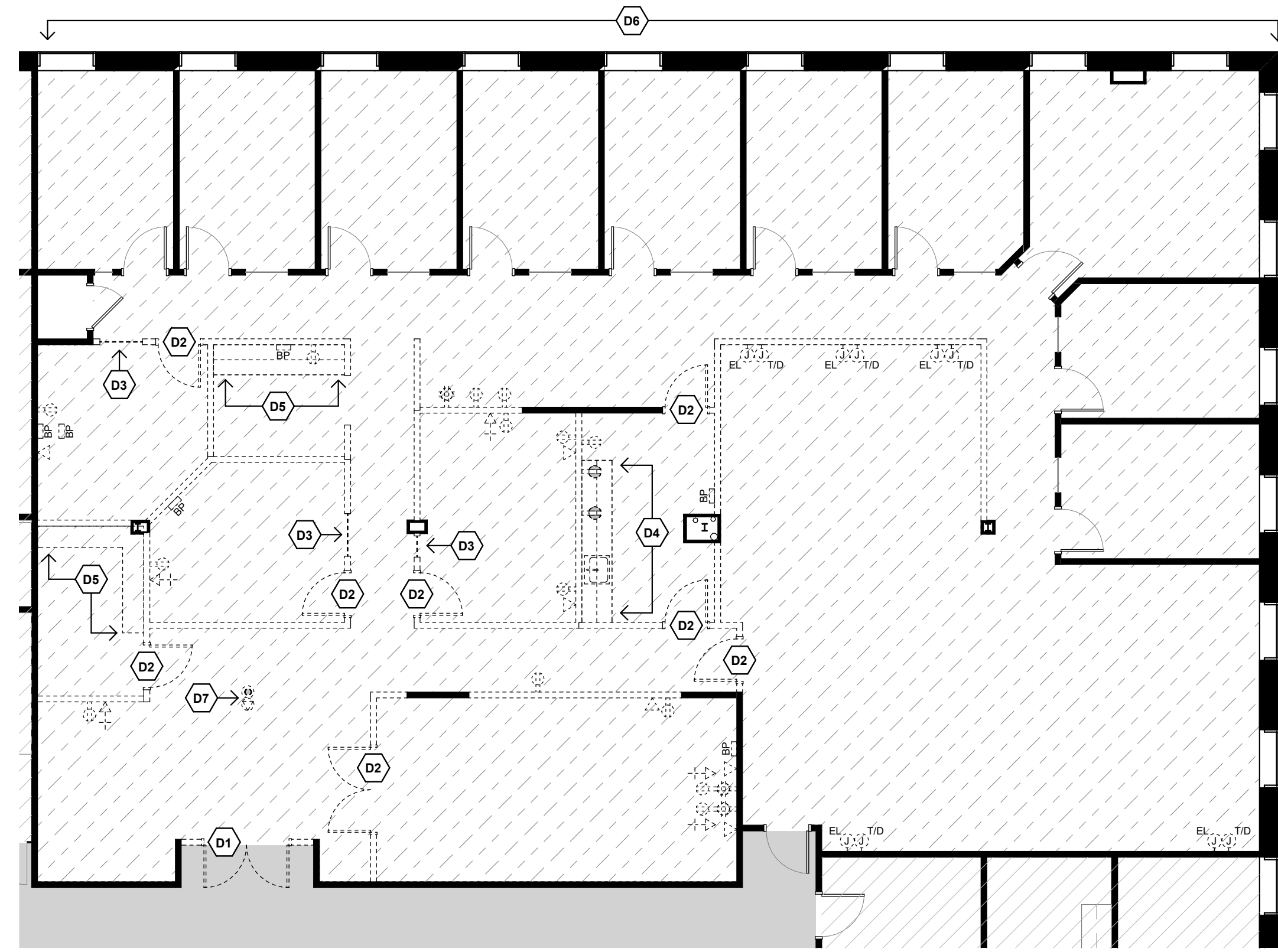


FIGURE 303.3
BEVELED CHANGES IN LEVEL

3 Protruding Objects
1/4" = 1'-0"

2 Turning Space Configuration
1/4" = 1'-0"

1 Changes in Floor Level
1/4" = 1'-0"



LEWIS RINGELMAN, P.C.
 Demolition Plan
 Fourth Floor
 6,202 RSF
 1/8" = 1'-0"



DEMOLITION PLAN GENERAL NOTES

Purpose:
 The purpose of this Plan is to generally describe the proposed demolition work required for the Project in conjunction with the other plans and Engineering Plans.

Contractor's Responsibilities:
 The Contractor shall be responsible for field verifying all existing conditions and familiarizing themselves with all Project Construction Documents, Tenant and Building Standards, the Building Owner's Rules, Regulations and Working Conditions for the Building and governing Building Codes affecting the Project. Provide for all materials, work and all associated costs as may be required for a complete and finished Project. **DO NOT SCALE THE DRAWINGS.**

The Contractor shall advise the Architect of any discrepancies between the Construction Documents and the field conditions prior to proceeding with the Project work.

Hazardous Materials:
 The Contractor is to examine the existing conditions for the existence of hazardous materials. If hazardous materials are found, the Building Owner should be contacted and the hazardous materials are to be removed. All removal work shall be in compliance with local, state and federal laws for the removal of asbestos.

No materials containing any amount of asbestos are to be used in the performance of the work, including but not limited to asbestiform fiber/structure varieties of chrysotile, amosite (cumingtonite-grunerite), crocidolite, anthophyllite, tremolite, and actinolite and/or "magnesium silicates" as identified in the product manufacturer's Material Safety Data Sheets.

Prior to commencement of any demolition work, including floor covering removal, the General Contractor shall obtain from the Building Owner or the Building Owner's designated state-certified asbestos inspector a statement to the effect that the inspector has determined that demolition of the space will not disturb building materials that contain asbestos, as defined by the U.S. Environmental Protection Agency, the U.S. Occupational Safety and Health Administration and the State Health Department.

Upon completion of the work and prior to a request for final payment, the General Contractor shall provide a signed affidavit stating that no asbestos has been introduced into the building by the General Contractor, its subs or suppliers during the performance of the work.

Material Salvage:
 Remove all walls, millwork, plumbing fixtures, door and frame assemblies and glazing noted by dashed lines. All other items indicated are to remain, unless noted otherwise. As determined by the Building Owner and Contractor, salvage all millwork, plumbing fixtures, door and frame assemblies and glazing that are determined to be reusable and dispose of all others. Cap all unused plumbing lines below the floor slab. Patch and repair slab as required to receive new floor finishes.

DEMOLITION PLAN GENERAL NOTES (cont'd)

Protection of Real Property Improvements:
 Provide protective measures as required to protect existing improvements and to provide free unobstructed and safe passage of Building Owner's personnel and general public to and from occupied portions of the building. Maintain and protect all areas outside the designated work areas from soiling and debris.

Protect from damage existing finish work that is to remain in place and becomes exposed during demolition operations.

The Contractor shall repair any damage to the facility caused by the demolition activities or by their Subcontractors at no cost to the Building Owner.

Architectural Demolition:
 Architectural elements shall be removed back to structure, or if such removal is impractical according to Building Owner, then elements shall be removed to such an extent that patching and/or new work will conceal part of the element to remain.

Electrical / Mechanical Demolition:
 Remove electrical and mechanical elements present in wall and/or structures noted for demolition unless serving other portions of the building. Coordinate all work with the Building Chief Engineer and notify Architect of such conditions.

Electrical and mechanical elements shall be removed back to the nearest junction box, panel, pipe, duct, etc. to ensure no conflict with new work. Coordinate all work with the Building Chief Engineer. Elements shall be shut off, disconnected or capped.

Clean Up / Finish Work:
 Patch and prepare all disrupted walls and remaining ceilings as required, suitable for receiving finishes after demolition.

Upon completion of demolition work, remove tools, equipment and demolished materials from site. Leave interior areas broom clean.

Removal of trash and demolition material shall occur daily.

The existing building will remain in partial occupancy with areas made available for demolition and remodeling work in accordance with a mutually agreed upon schedule between Contractor and Building Owner. Disruptive or potentially hazardous construction activities shall be coordinated to occur after normal business hours, so as to minimize disturbance to Building Occupants.

DEMOLITION PLAN KEYED NOTES

The following Keyed Notes are intended to generally describe special conditions and improvements as a supplement to the plan drawing, legends, schedules and General Notes. The Contractor shall be responsible for pricing any materials and work required and related to the Project Work.

The following Keyed Notes **DO NOT** represent the required engineering design.

Demolition Plan General Notes:

- All existing electrical, telephone and data devices, including all low voltage cabling, indicated on demolition plan are to be removed back to source.
- Where existing flooring is to be removed, Demolition Contractor to remove any existing adhesive (ridges from broadloom, ceramic tile, carpet tile, LVT, etc) to a smooth slab condition, ready for new finishes.
- Remove all existing suite finishes. Prepare all surfaces as required to receive new finishes.
- Where PVC backed carpets were installed and removed, seal all existing adhesives to prevent Plasticizer Migration.
- Where flooring, wall base and wall coverings are removed, the remaining substrates should be patched, repaired or replaced to receive new wall finishes. The existing floor slab shall be free of all nails, screws and other protruding objects and prepared to receive new flooring finishes.
- Repair, refurbish or replace damaged blinds as required by Building Owner to provide a Building Standard appearance, or where new partition placement requires re-sizing of blinds.
- Repair wall scars where existing wall was removed. Prepare surface as required for new finishes.

Demolition Plan Keyed Notes:

- D1** Remove existing entry door and frame assembly in its entirety. Verify disposition with Property Manager.
- D2** Remove existing door and frame assembly in its entirety. Salvage for possible reuse.
- D3** Remove existing glazing assembly in its entirety. Salvage for possible reuse.
- D4** Remove existing millwork and plumbing fixtures in their entirety. Abandon plumbing lines below slab, patch and repair floor slab and walls as required for like new appearance.
- D5** Remove existing millwork as indicated by dashed lines in its entirety. Do not salvage. Patch and repair wall scars at area of demolition, smooth for new finish.
- D6** Existing window blinds to remain. Protect during demolition and construction. **PRICE AS ALTERNATE.** Remove existing window coverings. Provide and install Mecho fabric shades, 5% openness within the window casings.
- D7** Remove existing floor core outlet as indicated by dashed lines. Infill slab as required to maintain required fire rating to match and blend with existing floor finishes.

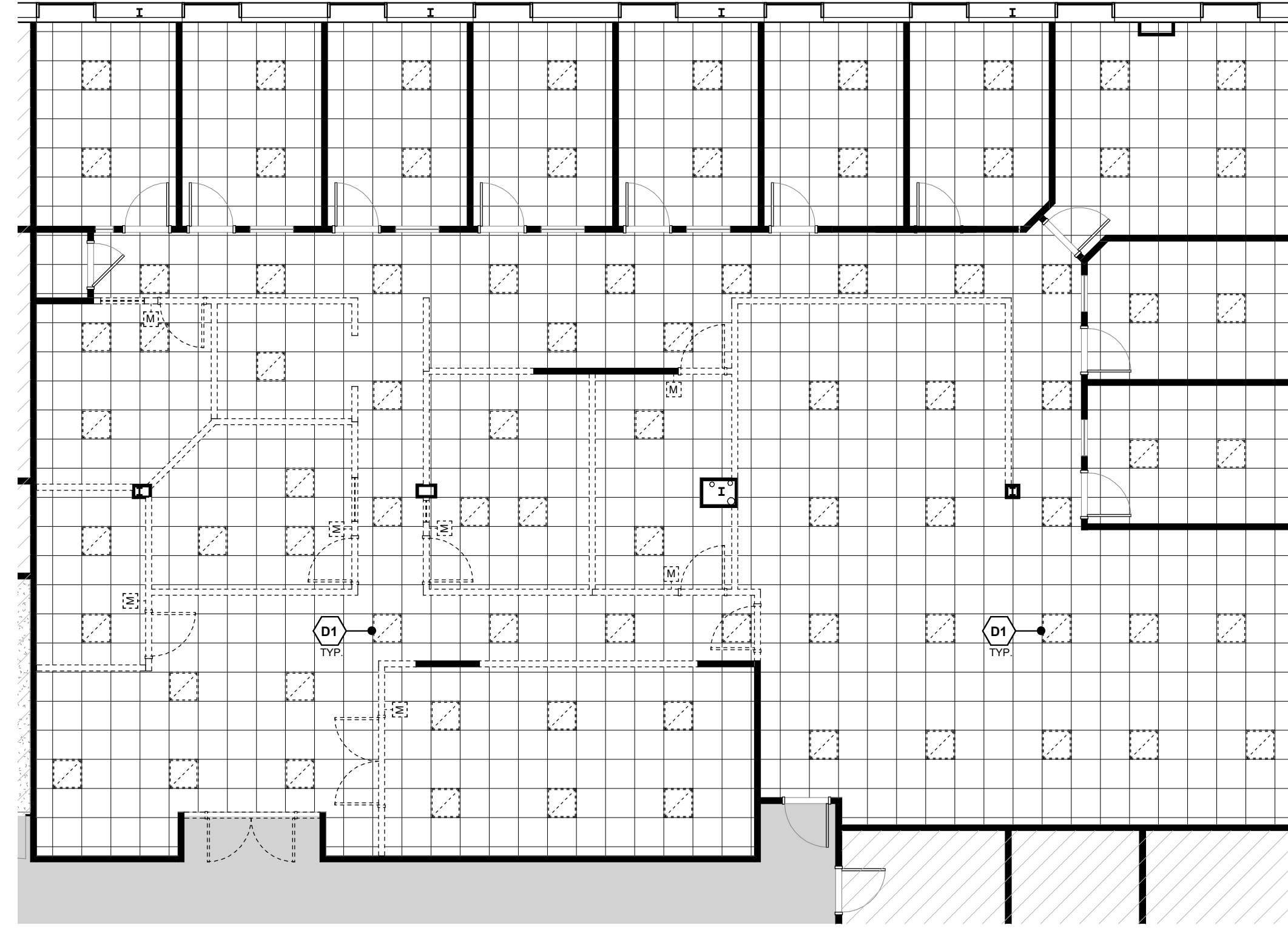
DEMOLITION PLAN LEGEND

Reference Electrical Engineering Plans / Keyed Notes and General Notes on this sheet for any special functions or requirements.

Simplex outlet	Dedicated fourplex outlet	Wall mounted junction box	Existing flooring to be removed
Dedicated simplex outlet	Blank plate	Floor mounted junction box	
Duplex outlet	Data receptacle	Floor box	
Dedicated duplex outlet	Cable/data/coax receptacle	Card reader	
Fourplex outlet	Power pole	Automatic door reader	

PARTITION SCHEDULE

	Existing partition
	Partial height partition
	Partition to be removed
	Partial height partition to be removed



LEWIS RINGELMAN, P.C.
 Reflected Ceiling Demolition Plan
 Fourth Floor
 6,202 RSF
 1/8" = 1'-0"



REFLECTED CEILING DEMOLITION PLAN GENERAL NOTES

Purpose:
 The purpose of this Plan is to generally describe the proposed demolition of ceiling treatments, light fixtures and ceiling mounted electrical devices required for the Project in conjunction with the other plans and Engineering Plans.

Contractor shall reference Construction Documents prepared by the Project Engineers for all electrical specifications, circuiting, mechanical and life safety requirements for the Project work.

Contractor's Responsibilities:

The Contractor shall be responsible for field verifying all existing conditions and familiarizing themselves with all Project Construction Documents, Tenant and Building Standards, the Building Owner's Rules, Regulations and Working Conditions for the Building and governing Building Codes affecting the Project. Provide for all materials, work and all associated costs as may be required for a complete and finished Project.

The Contractor shall advise the Architect of any discrepancies between the Construction Documents and the field conditions prior to proceeding with the Project work.

REFLECTED CEILING DEMOLITION PLAN KEYED NOTES

The following Keyed Notes are intended to generally describe special conditions and improvements as a supplement to the plan drawing, legends, schedules and General Notes. The Contractor shall be responsible for pricing any materials and work required and related to the Project Work.

The following Keyed Notes **DO NOT** represent the required engineering design.

Demolition General Notes:

- Contractor to remove all debris, abandoned wiring, cabling and combustible materials in the plenum space above the ceiling.
- Existing suspended acoustical ceiling tile and ceiling grid will remain. Modify as required for new wall layout. Contractor to protect ceiling assembly during demolition.

Demolition Keyed Notes:

- D1** Remove existing light fixture as indicated by dashed lines. Salvage for possible reuse.

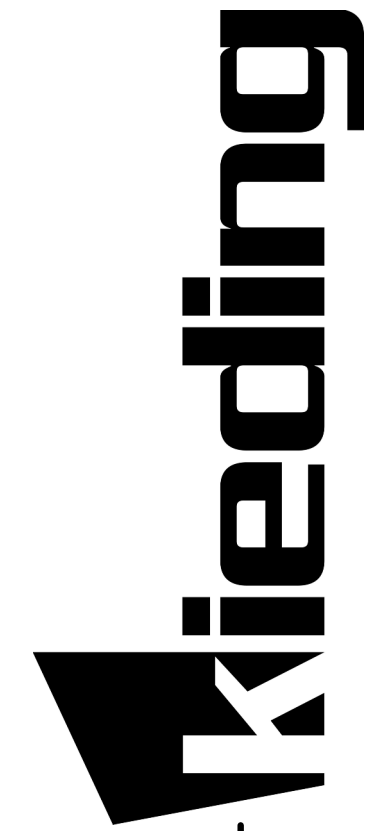
REFLECTED CEILING DEMOLITION PLAN LEGEND

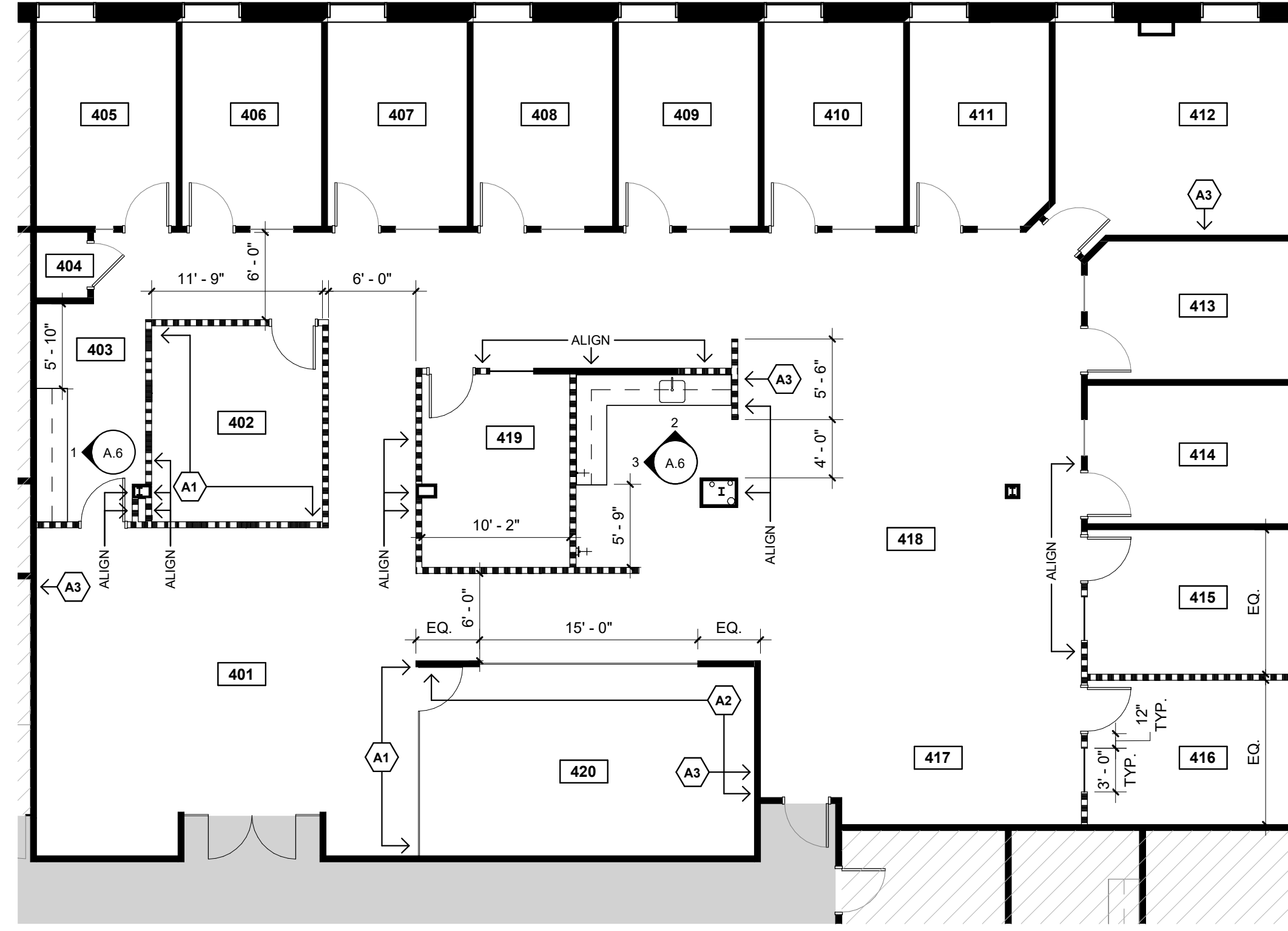
Reference Electrical Engineering Plans / Keyed Notes and General Notes on this sheet for any special functions or requirements.

	2'-0" x 4'-0" light fixture		Wall washer light fixture		Vanity light fixture		Cove light fixture
	2'-0" x 4'-0" light fixture to be removed		Wall washer light fixture to be removed		Vanity light fixture to be removed		Cove light fixture to be removed
	2'-0" x 2'-0" light fixture		Pendant light fixture		Suspended linear light fixture		Light switch/occupancy sensor to be removed
	2'-0" x 2'-0" light fixture to be removed		Pendant light fixture to be removed		Suspended linear light fixture to be removed		Ceiling grid and ceiling tile to be removed
	Downlight fixture		Sconce light fixture		Surface mounted linear light fixture		Ceiling grid and ceiling tile to be removed
	Downlight fixture to be removed		Sconce light fixture to be removed		Surface mounted linear light fixture to be removed		Drywall ceiling

PARTITION SCHEDULE

	Existing partition
	Partial height partition
	Partition to be removed
	Partial height partition to be removed





LEWIS RINGELMAN, P.C.
 Dimension Plan
 Fourth Floor
 6,202 RSF
 1/8" = 1'-0"



DIMENSION PLAN GENERAL NOTES

Purpose:

The purpose of this Plan is to generally describe the proposed architectural layout and tenant improvements required for the Project in conjunction with the other plans and Engineering Plans.

Contractor's Responsibilities:

The Contractor shall be responsible for field verifying all existing conditions and familiarizing themselves with all Project Construction Documents, Tenant and Building Standards, the Building Owner's Rules, Regulations and Working Conditions for the Building and governing Building Codes affecting the Project. Provide for all materials, work and all associated costs as may be required for a complete and finished Project.

The Contractor shall advise the Architect of any discrepancies between the Construction Documents and the field conditions prior to proceeding with the Project work.

Degree of Accuracy/Scaled Plan Dimensions:

DO NOT SCALE THE DRAWINGS. The drafted plan is based upon CAD data provided to us by others and field verified for general conformance of the plan to the space shown. Exhaustive measurements have not been made and the actual space may vary slightly from that shown in plan.

Unless noted otherwise, furniture and equipment are only generally representative of the size and configuration of the actual furniture and equipment. The Tenant shall be responsible for their vendors and installers verifying all critical dimensions and requirements necessary to assure such furniture and equipment fit and work to their satisfaction and for advising the architect of all such requirements affecting the Project plans.

DIMENSION PLAN KEYED NOTES







The following Keyed Notes are intended to generally describe special conditions and improvements as a supplement to the plan drawing, legends, schedules and General Notes. The Contractor shall be responsible for pricing any materials and work required and related to the Project Work.

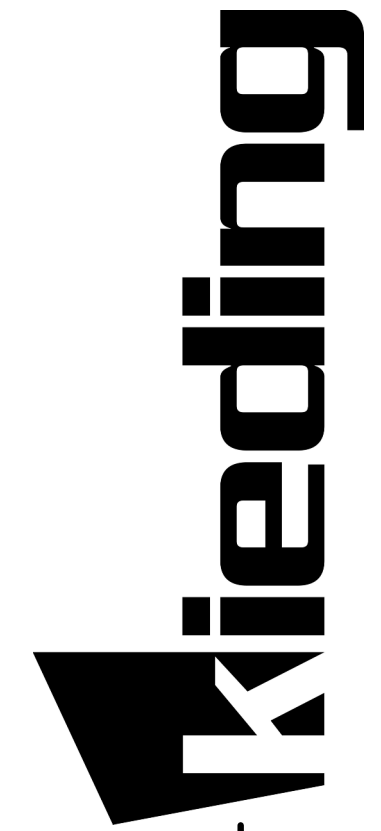
The following Keyed Notes **DO NOT** represent the required engineering design.

- Dimension Plan Keyed Notes:**
1. All new walls to match existing drywall texture; verify in field.

- Dimension Plan Keyed Notes:**
- A1**
Provide and install new Building Standard acoustical partition from floor to finished ceiling. Provide and install new acoustical batts within stud cavities and 4" wide sections of plenum rated sound batts above ceiling.
- A2**
Upgrade existing partition as required to provide Building Standard acoustical partition.
- A3**
Provide and install non-combustible blocking strips in wall for Tenant supplied wall mounted screen and mounting hardware. Contractor to coordinate with Tenant's vendor to confirm exact location, mounting height and requirements in field prior to installation.

PARTITION SCHEDULE

-  Existing partition
-  Interior partition
-  Corridor partition
-  Demising partition
-  Acoustical partition
-  Partial height partition



LEWIS RINGELMAN, P.C.

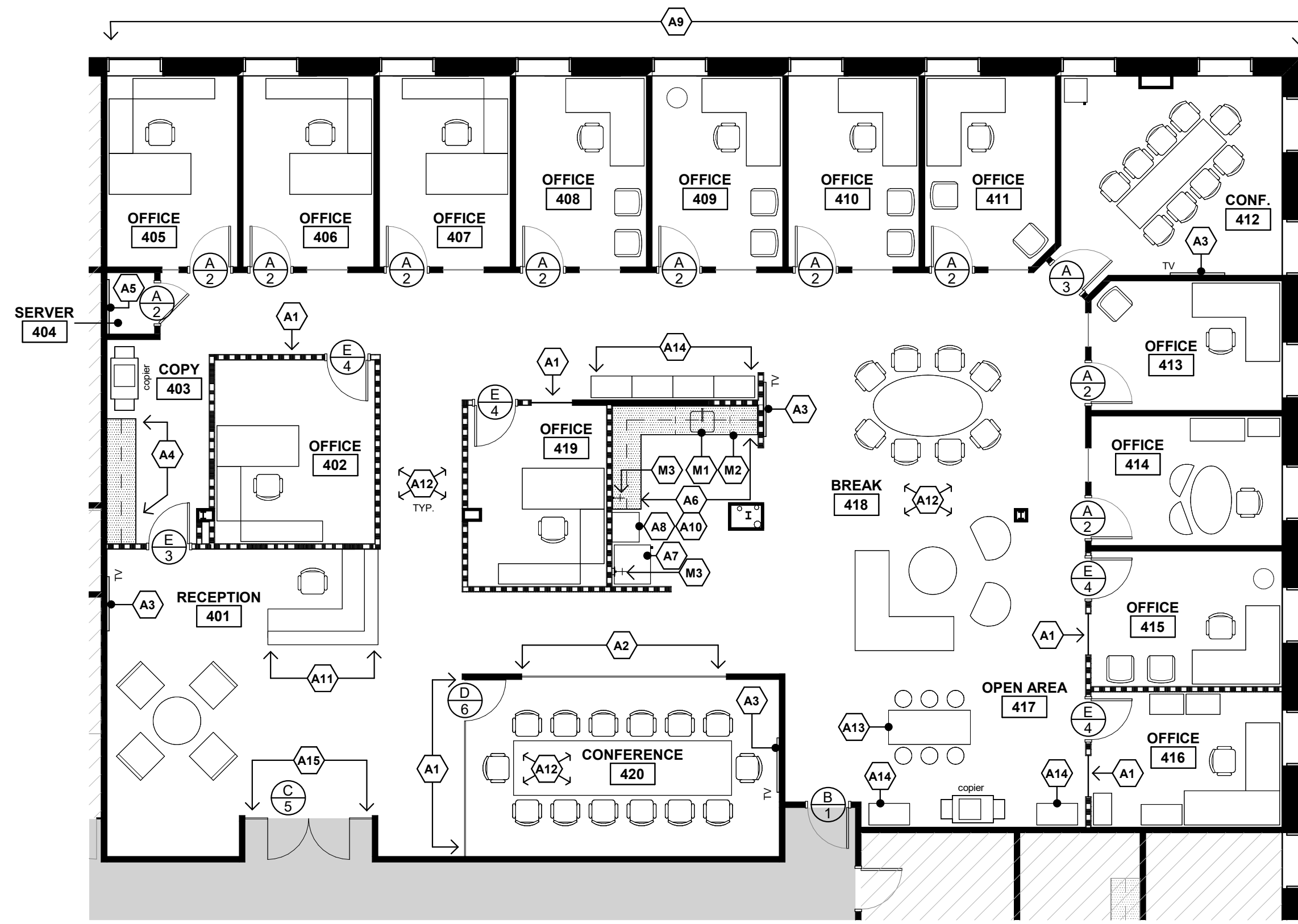
101 UNIVERSITY
 FOURTH FLOOR - SUITE 400
 101 UNIVERSITY BOULEVARD
 DENVER, COLORADO 80206

ISSUES / REVISIONS
 JANUARY 14, 2025
 57110139-71

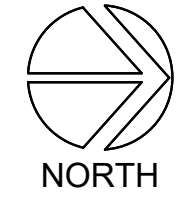
DIMENSION PLAN
 04 / A.1

4725 South Monaco Street | Suite 225
 Denver, Colorado 80237
 303.399.9100

Contact - Tia Jenkins
 Contact - Annie Khiong



LEWIS RINGELMAN, P.C.
 Partition Plan
 Fourth Floor
 6,202 RSF
 1/8" = 1'-0"



PARTITION PLAN GENERAL NOTES

Purpose:
 The purpose of this Plan is to generally describe the proposed architectural layout and tenant improvements required for the Project in conjunction with the other plans and Engineering Plans.

Contractor's Responsibilities:
 The Contractor shall be responsible for field verifying all existing conditions and familiarizing themselves with all Project Construction Documents, Tenant and Building Standards, the Building Owner's Rules, Regulations and Working Conditions for the Building and governing Building Codes affecting the Project. Provide for all materials, work and all associated costs as may be required for a complete and finished Project.

The Contractor shall advise the Architect of any discrepancies between the Construction Documents and the field conditions prior to proceeding with the Project work.

Contractor to notify Building Management 24 hours in advance of any life safety / fire alarm testing.

Provide and install Building Standard fire extinguishers, emergency lights and exit signage. Ensure compliance pertaining to fire suppression, electrical and mechanical systems as required by the Building Department.

Contingency Allowance:
 The Contractor shall coordinate with Building Management for any contingency inclusion in the final bid for Tenant improvements and related work not provided for on the Plan.

Systems Furniture/Casegoods:
 All systems furniture, casegoods, equipment, etc. shown is for general reference purposes only. The Tenant is responsible for providing critical dimensions to the Architect/General Contractor for special equipment, freestanding furniture or systems furniture. The Tenant's Systems Furniture vendor is responsible for verifying all field dimensions relative to their furniture installation, supplying any critical finished dimensions to the Architect/General Contractor prior to construction, providing circuit/wiring requirements to the Engineers and providing final locations of power/data/telephone feeds to the General Contractor.

Tenant Improvement Exclusions:
 Unless noted otherwise or specifically approved by the Building Owner, the following work is to be provided separately by the Tenant and is NOT included in this Plan NOR to be included in the Contractor's Tenant Improvement Construction Budget.

Computer / Telephone / Security equipment, installation and cabling.

Moveable furniture, fixtures, accessories, equipment and signage.

PARTITION PLAN KEYED NOTES

The following Keyed Notes are intended to generally describe special conditions and improvements as a supplement to the plan drawing, legends, schedules and General Notes. The Contractor shall be responsible for pricing any materials and work required and related to the Project Work.

The following Keyed Notes **DO NOT** represent the required engineering design.

Architectural General Notes:

- Provide and install new Building Standard finishes in the Suite as noted in the Finish Notes.

Architectural Keyed Notes:

A1 Provide and install new width shown x 8'-2" high x 1/2" thick clear tempered glass glazing assembly centered in finished drywall cased opening. Header to align with top of door frame. Provide and install new aluminum glazing channels top and bottom and clear silicone seal at all vertical joints and jamb (1/8" max width). Provide structural support above ceiling as required. Provide submittal to Architect for approval.

A2 Provide and install new width shown x 8'-2" x 1/2" thick clear tempered glass glazing assembly centered in finished drywall cased opening. Provide and install new aluminum glazing channels top and bottom and clear silicone seal at all vertical joints and jamb (1/8" max width). Provide and install new 3M frosted film at this location. (Verify pattern and extent/design with Tenant). Provide structural support above ceiling as required. Provide submittal to Architect for approval.

A3 New wall-mounted television and mounting bracket to be provided by Tenant and installed by General Contractor. Verify final location and mounting height with Tenant. Secure to non-combustible blocking in wall as required.

A4 Provide and install millwork as shown. Millwork to include 24" deep base cabinets, 25-1/2" deep countertop, 4" backsplash, 12" deep upper wall cabinets as shown. Materials and hardware as specified. RE: Elevation(s) and Section(s) on Sheet 04/A.6.

A5 Provide and install new 4'-0" x 4'-0" x 3/4" thick AC fire retardant telephone board mounted tight to ceiling and corner. Paint with semi-gloss paint to match adjacent wall color. (If one is not existing).

A6 Provide and install new kitchen millwork: Plastic laminate base and upper cabinets with Quartz countertops. Millwork to include sink base cabinet, opening for dishwasher, 24" deep base cabinets, 25-1/2" deep countertop, 4" backsplash, 12" deep upper wall cabinets as shown. Materials and hardware as specified. Countertop at 34" AFF. RE: Elevation(s) and Section(s) on Sheet 04/A.6.

A7 (N.I.C.) Refrigerator to be provided and installed by Tenant.

A8 (N.I.C.) Beverage cooler to be provided and installed by Tenant.

A9 Remove existing window coverings. Provide and install Mecho fabric shades, 5% openness within the window casings.

PARTITION PLAN KEYED NOTES (cont'd)

A10 Provide and install new tile backsplash. (Material allowance of \$40 per square foot).

A11 (N.I.C.) Reception desk to be provided and installed by Tenant.

A12 (N.I.C.) All furniture shown to be provided and installed by Tenant.

A13 (N.I.C.) High table and stools to be provided and installed by Tenant.

A14 (N.I.C.) Lateral File cabinets to be provided and installed by Tenant.

A15 Provide and install new width shown x 9'-0" high x 1/2" thick clear tempered glass glazing assembly centered in finished drywall cased opening. Provide and install new aluminum glazing channels top and bottom and clear silicone seal at all vertical joints and jamb (1/8" max width). Provide structural support above ceiling as required. Provide submittal to Architect for approval.

Mechanical Keyed Notes:

M1 Provide and install new undermount ANSI compliant single compartment rear draining stainless steel sink with ANSI compliant faucet and all associated plumbing services including hot water service. Provide and install new basket garbage disposal with electrical outlet and switch. Provide and install ANSI compliant insulation on all exposed under counter pipes. Confirm specification with Property Manager. RE: Mechanical Engineering Plans.

M2 Provide and install ANSI compliant undercounter quiet type dishwasher as approved by Property Manager. Provide all required plumbing services including hot water. Provide electrical connection as required. Color: Stainless Steel. RE: Mechanical Engineering Plans.

M3 Provide and install new copper water line with soldered shut-off valve and all required plumbing services. RE: Mechanical Engineering Plans.

DOOR/DOOR FRAME SCHEDULE

General Notes:
 Unless noted otherwise, all doors and frames are new or relocated with Building Stock as approved by Building Owner and shall be solid core with Building Standard finish.

Schedule:

A Existing door and frame assembly to remain. Protect during demolition and construction. Touch up as required for like new appearance.

B Existing corridor door and frame assembly to remain. Protect during demolition and construction. Touch up as required for like new appearance.

C Provide and install new pair of 3'-0" wide x 9'-0" high x 1/2" thick clear tempered glass doors with clear aluminum metal rails top and bottom and pivot hinges with coordinating glass sidelights.

D Provide and install new 3'-0" wide x 9'-0" high x 1/2" thick clear tempered glass door with clear aluminum metal rails top and bottom and pivot hinges with coordinating glass sidelights.

E Provide and install new Building Standard 3'-0" wide x 8'-0" high solid core wood veneer interior door and frame assembly to match and blend with existing within the suite.

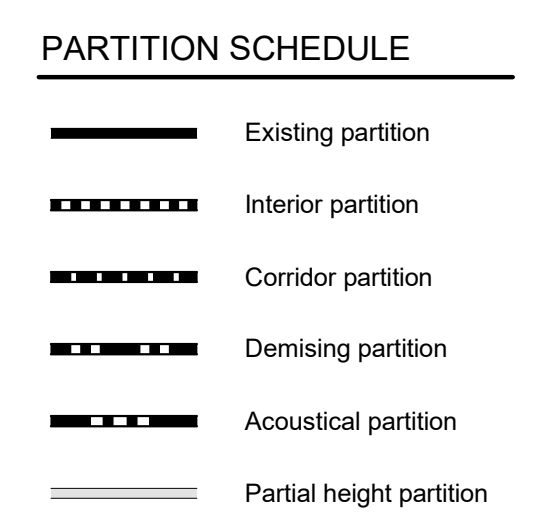
HARDWARE SCHEDULE

General Notes:
 Provide ANSI compliant hardware as required on all new door hardware. Reused hardware sets shall be refurbished as required for proper function and finished to match new hardware as approved by the Building Owner.

Provide and install wall stops with solid, fire-retardant wood blocking behind and floor stops where otherwise required based on door function and location.

Schedule:

- Provide and install new Building Standard cypher lock at this location.
- Existing lever set office function hardware to remain.
- Provide and install new Building Standard ANSI compliant lever passage set hardware set. Finish to match Building Standard.
- Provide and install new Building Standard ANSI compliant lever office function lockset hardware set. Finish to match Building Standard.
- Provide and install new CRL Brushed Stainless 12" Standard Pull on each side of the doors CM12X12BS, with recessed overhead closer (90 degree). Provide magnetic lock that coordinates with the new card reader.
- Provide and install new CRL Brushed Stainless 12" standard pull on each side of door CM12X12BS, with recessed overhead closer (90 degree).





LEWIS RINGELMAN, P.C.
 Outlet Location Plan
 Fourth Floor
 6,202 RSF
 1/8" = 1'-0"



OUTLET LOCATION PLAN GENERAL NOTES

Purpose:

The purpose of this Plan is to generally describe the proposed location of electrical, telephone and data line devices required for the Project in conjunction with the other plans and Engineering Plans.

Contractor shall reference Construction Documents prepared by the Project Engineers for all electrical specifications, circuiting, mechanical and life safety requirements for the Project work.

Contractor's Responsibilities:

The Contractor shall be responsible for field verifying all existing conditions and familiarizing themselves with all Project Construction Documents, Tenant and Building Standards, the Building Owner's Rules, Regulations and Working Conditions for the Building and governing Building Codes affecting the Project. Provide for all materials, work and all associated costs as may be required for a complete and finished Project.

The Contractor shall advise the Architect of any discrepancies between the Construction Documents and the field conditions prior to proceeding with the Project work.

Existing Improvements:

Unless noted otherwise, existing conditions and materials to remain or be reused shall be refurbished and / or cleaned to ensure a "like new" appearance subject to the approval of the Tenant and Building Owner.

OUTLET LOCATION PLAN KEYED NOTES

The following Keyed Notes are intended to generally describe special conditions and improvements as a supplement to the plan drawing, legends, schedules and General Notes. The Contractor shall be responsible for pricing any materials and work required and related to the Project Work.

The following Keyed Notes **DO NOT** represent the required engineering design.

Electrical General Notes:

1. All cover plates and devices shall match existing. Verify in field and replace plates and devices as required.
2. Contractor to provide contingency allowance of \$2.50 per square foot for switching/sensored receptacles as required by current IECC code requirements.

Electrical Keyed Notes:

- E1**
Provide and install new dedicated 20 amp duplex outlet. RE: Electrical Engineering Plans.
- E2**
Provide and install new recessed 4" x 4" gang box to supply both power and cable/data/coax connections to Tenant's equipment. General Contractor to verify exact location, mounting height and requirements with Tenant prior to installation. RE: Electrical Engineering Plans.
- E3**
Provide and install new flush floor device to provide electrical, telephone and data to Tenant's furniture. General Contractor to verify final location and requirements with Tenant. X-ray floor as required; coordinate this work with Property Manager. Device to accommodate (2) duplex outlets, (2) data lines and (1) HDMI connection. Provide specification sheet to Tenant for approval. Verify final locations with Tenant in field prior to installation. Provide 1-1/4" conduit from floor box to adjacent wall mounted gang box to connect to Tenant mounted audio visual equipment. RE: Electrical Engineering Plans.
- E4**
Provide and install new junction box at standard switch height for Tenant-provided and installed card reader system. Verify final location with Tenant and/or Tenant's Vendor. Connect to and modify door hardware as required. RE: Electrical Engineering Plans.

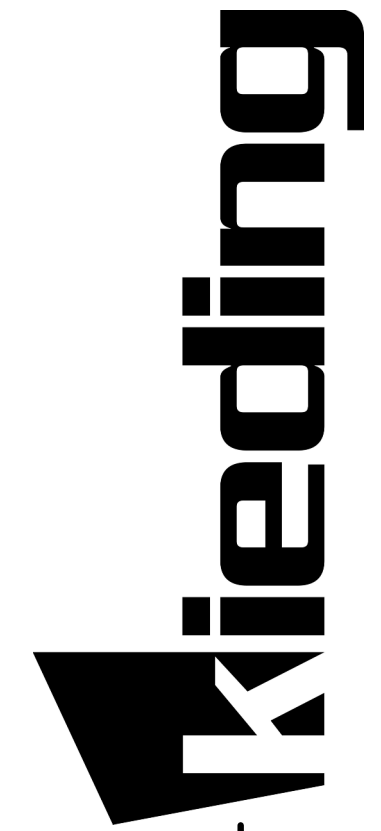
OUTLET LOCATION PLAN LEGEND

Reference Electrical Engineering Plans / Keyed Notes and General Notes on this sheet for any special functions or requirements. All wall mounted receptacle boxes to have 3/4" diameter conduit to 6" above ceiling with a bushing on top of the conduit, unless noted otherwise.

Simplex outlet	Dedicated fourplex outlet	Wall mounted junction box	Card reader
Dedicated simplex outlet	Blank plate	Floor mounted junction box	Automatic door reader
Duplex outlet	Data receptacle	Electrical floor box	Electrical panel box
Dedicated duplex outlet	Cable/data/coax receptacle	Telephone/data floor box	N Indicates new device
Fourplex outlet	PP Power pole	- P - Power strip or raceway	+XX Indicates special device mounting height above finished floor

PARTITION SCHEDULE

	Existing partition
	Interior partition
	Corridor partition
	Demising partition
	Acoustical partition
	Partial height partition



4725 South Monaco Street | Suite 225
 Denver, Colorado 80237
 303.399.9100

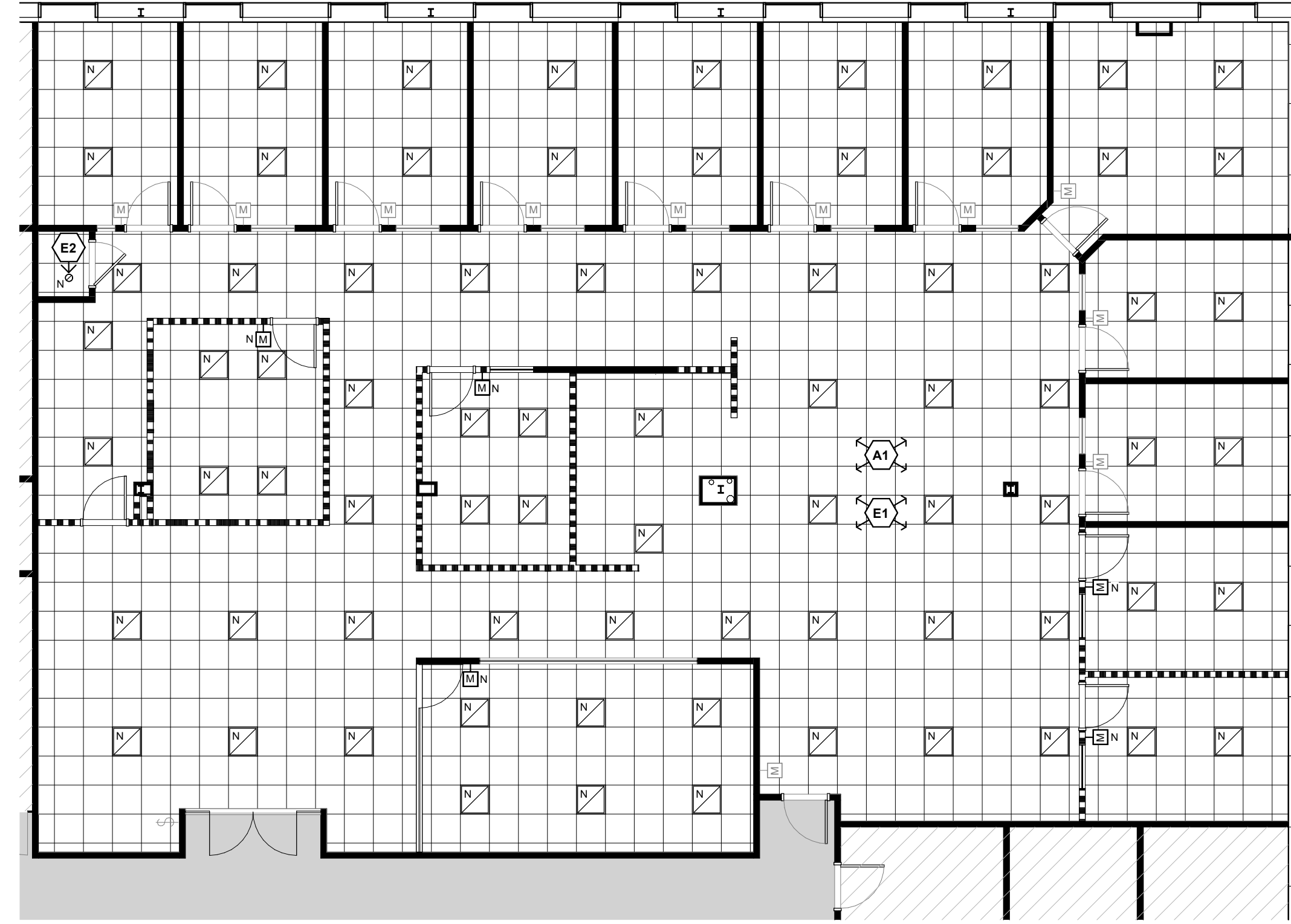
Contact - Tia Jenkins
 Contact - Annie Khiong

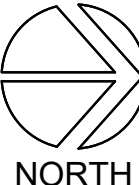
LEWIS RINGELMAN, P.C.

101 UNIVERSITY
 FOURTH FLOOR - SUITE 400
 101 UNIVERSITY BOULEVARD
 DENVER, COLORADO 80206

ISSUES / REVISIONS
 JANUARY 14, 2025 57110139-71

OUTLET LOCATION PLAN
 04 / A.3



LEWIS RINGELMAN, P.C.
 Reflected Ceiling Plan
 Fourth Floor
 6,202 RSF
 1/8" = 1'-0" 

**REFLECTED CEILING PLAN
 GENERAL NOTES**

Purpose:
 The purpose of this Plan is to generally describe the proposed location of ceiling treatments, light fixtures and ceiling mounted electrical devices required for the Project in conjunction with the other plans and Engineering Plans.

Contractor shall reference Construction Documents prepared by the Project Engineers for all electrical specifications, circling, mechanical and life safety requirements for the Project work.

Contractor's Responsibilities:
 The Contractor shall be responsible for field verifying all existing conditions and familiarizing themselves with all Project Construction Documents, Tenant and Building Standards, the Building Owner's Rules, Regulations and Working Conditions for the Building and governing Building Codes affecting the Project. Provide for all materials, work and all associated costs as may be required for a complete and finished Project.

The Contractor shall advise the Architect of any discrepancies between the Construction Documents and the field conditions prior to proceeding with the Project work.

**REFLECTED CEILING PLAN
 KEYED NOTES**

The following Keyed Notes are intended to generally describe special conditions and improvements as a supplement to the plan drawing, legends, schedules and General Notes. The Contractor shall be responsible for pricing any materials and work required and related to the Project Work.

The following Keyed Notes **DO NOT** represent the required engineering design.

Architectural General Notes:
 1. Existing ceiling to remain. Rework ceiling grid and ceiling tile as required for new suite layout/expansion.

Architectural Keyed Notes:
A1
 Assume 30% of ceiling tiles will be replaced with new tiles to match existing.

Mechanical General Notes:
 1. Modify existing HVAC and Life safety system (including fire suppression system) as required for new wall layout and function and as required by governing local Building and Fire Code.

**REFLECTED CEILING PLAN
 KEYED NOTES (cont'd)**

Electrical General Notes:
 1. Assume that light fixtures will require quick tap disconnects for pricing purposes.
 2. Controls and lighting shall meet governing code, including 2021 IECC requirements as applicable.
 3. Contractor to provide contingency allowance of \$2.50 per square foot for lighting controls as required by current IECC code requirements.

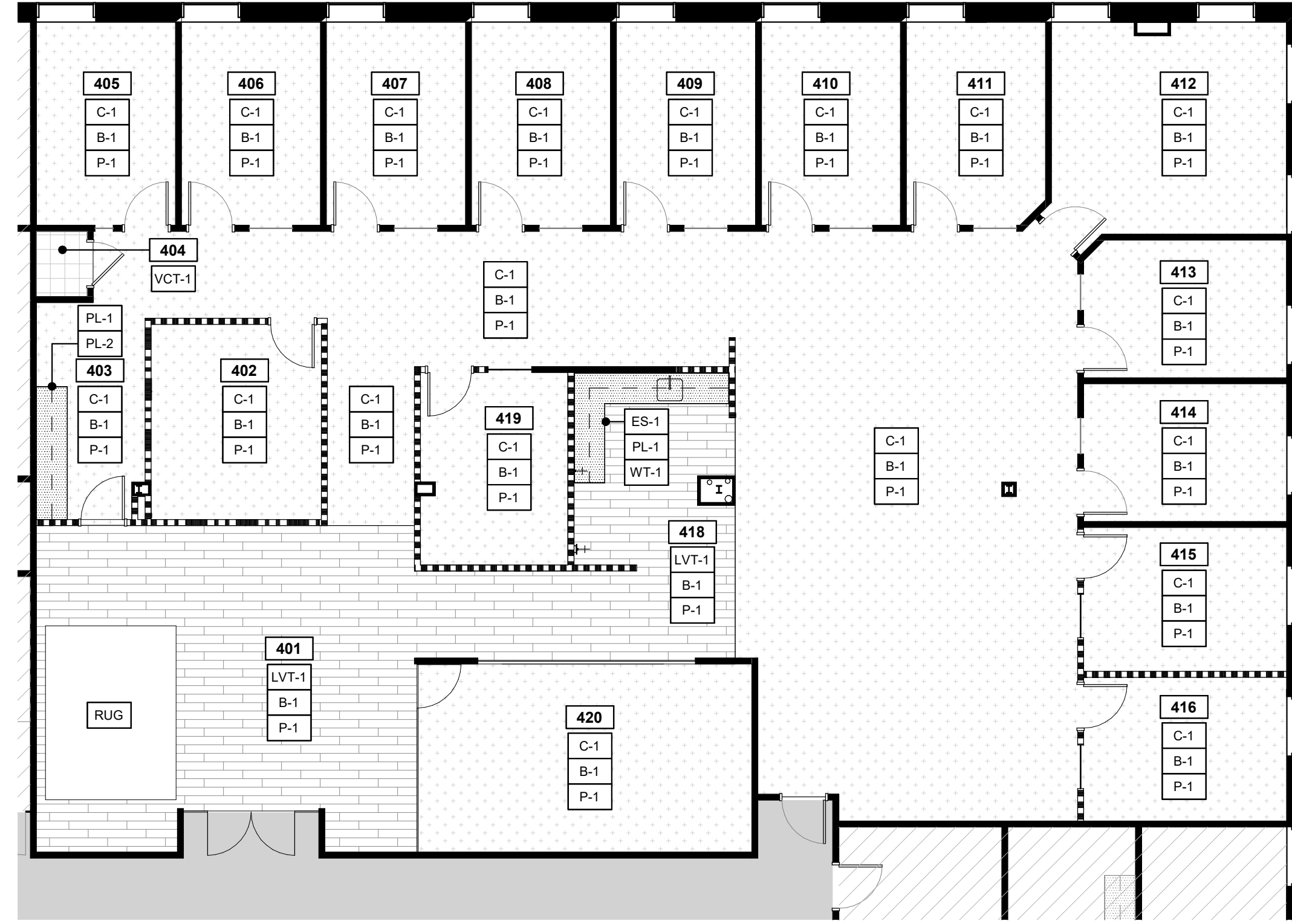
Electrical Keyed Notes:
E1
 Provide and install new Building Standard Daybrite Flat Panel 2'x2' lights throughout entire Suite. Provide and install new motion sensor switches as required.
E2
 Provide and install new recessed LED downlight fixture. Provide specification sheet to Property Manager for approval. RE: Electrical Engineering Plans.

REFLECTED CEILING PLAN LEGEND

Reference Electrical Engineering Plans / Keyed Notes and General Notes on this sheet for any special functions or requirements.

PARTITION SCHEDULE

	Existing partition
	Interior partition
	Corridor partition
	Demising partition
	Acoustical partition
	Partial height partition



LEWIS RINGELMAN, P.C.
 Finish Plan
 Fourth Floor
 6,202 RSF
 1/8" = 1'-0"



INTERIOR FINISH NOTES

Purpose:
 The purpose of this Plan is to generally describe the proposed interior finishes required for the Project.

General:
 Unless noted otherwise, the following Tenant interior finish materials shall be priced as new including material, installation, preparation, tax, freight, storage, delivery and all associated costs.

Finish Plan General Notes:
 1. All finishes noted are for pricing purposes only. Final finish selections to be verified with submittals, and approved by Property Manager and Tenant prior to order and installation.

FLOOR FINISHES:

**C-1
 Carpet Tile:**
 Manufacturer: Patcraft
 Style: PDQ Level 2
 Color: TBD
 Installation Method: TBD
 Stock: include 2% attic stock
 Material allowance: TBD
 Installation allowance: TBD
 Note: Installation allowance needs to address costs for floor preparation (including additional sealing of adhesives to prevent Plasticizer Migration where PVC backed carpets were removed, additional adhesives at broadloom carpets, ceramic tile, LVT, etc), floor prep (skim coat, sealing, grinding, etc), estimated freight, sealants, new adhesives, and installation as required to deliver a finished installed product to the space.

**LVT-1
 Luxury Vinyl Tile:**
 Manufacturer: Mannington
 Style: Drift Collection
 Color: TBD
 Size: 7.25" x 48"

**VCT-1
 Existing Vinyl Composition Tile:**
 Existing vinyl composition tile and base to remain. Protect during demolition and construction.

RUG:
 Rug on top of LVT-1 to be provided by Tenant.

WALL BASE:

**B-1
 Resilient Wall Base:**
 Manufacturer: TBD
 Color: TBD
 Height: 4"
 Profile: Cove

INTERIOR FINISH NOTES (cont'd)

WALL FINISHES:

**P-1
 Field Color:**
 Manufacturer: Sherwin Williams or Equal
 Color: TBD
 Finish: Eggshell
 Product: Zero VOC

**P-2
 Accent Color:**
 (One per room)
 Manufacturer: Sherwin Williams or Equal
 Color: TBD
 Finish: Eggshell
 Note: Assume one (1) wall at each room. Final location to be determined by Tenant and approved by Building Owner.
 Product: Zero VOC

MILLWORK FINISH:







**ES-1
 Engineered Stone Countertop:**
 Manufacturer: Cambria or Equal
 Color: TBD
 Edge: Straight
 Thickness: 3cm
 Assume \$50.00 PSF material cost only

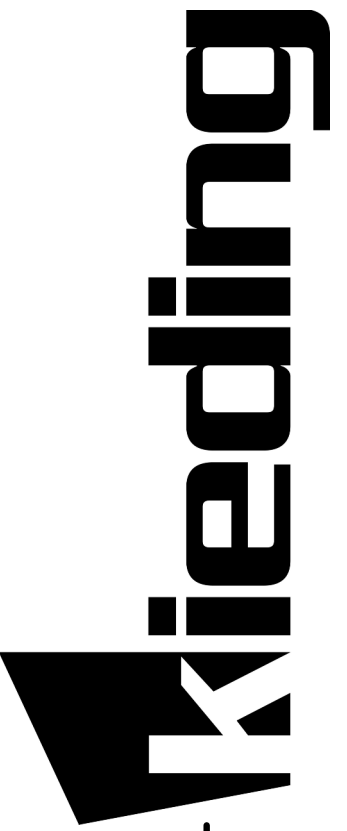
**PL-1
 Plastic Laminate Cabinets:**
 Manufacturer: Formica or Equal
 Color: TBD

**PL-2
 Plastic Laminate Countertop:**
 Manufacturer: Formica or Equal
 Color: TBD

**WT-1
 Tile Backsplash:**
 Provide an allowance of \$40 per square foot material allowance.

PARTITION SCHEDULE

	Existing partition
	Interior partition
	Corridor partition
	Demising partition
	Acoustical partition
	Partial height partition



LEWIS RINGELMAN, P.C.

101 UNIVERSITY
 FOURTH FLOOR - SUITE 400
 101 UNIVERSITY BOULEVARD
 DENVER, COLORADO 80206

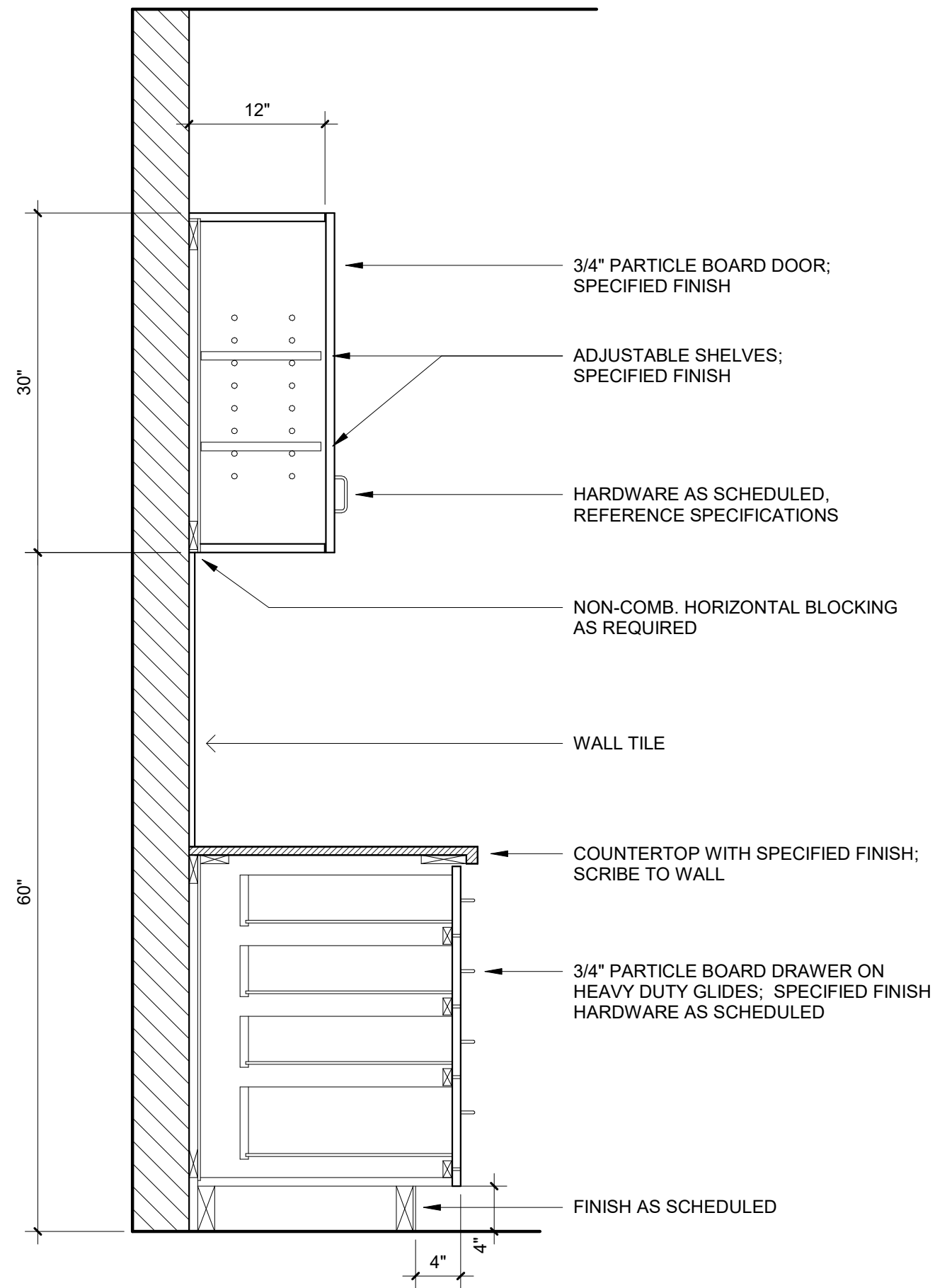
ISSUES / REVISIONS
 JANUARY 14, 2025
 57110139-71

FINISH PLAN
 04 / A.5

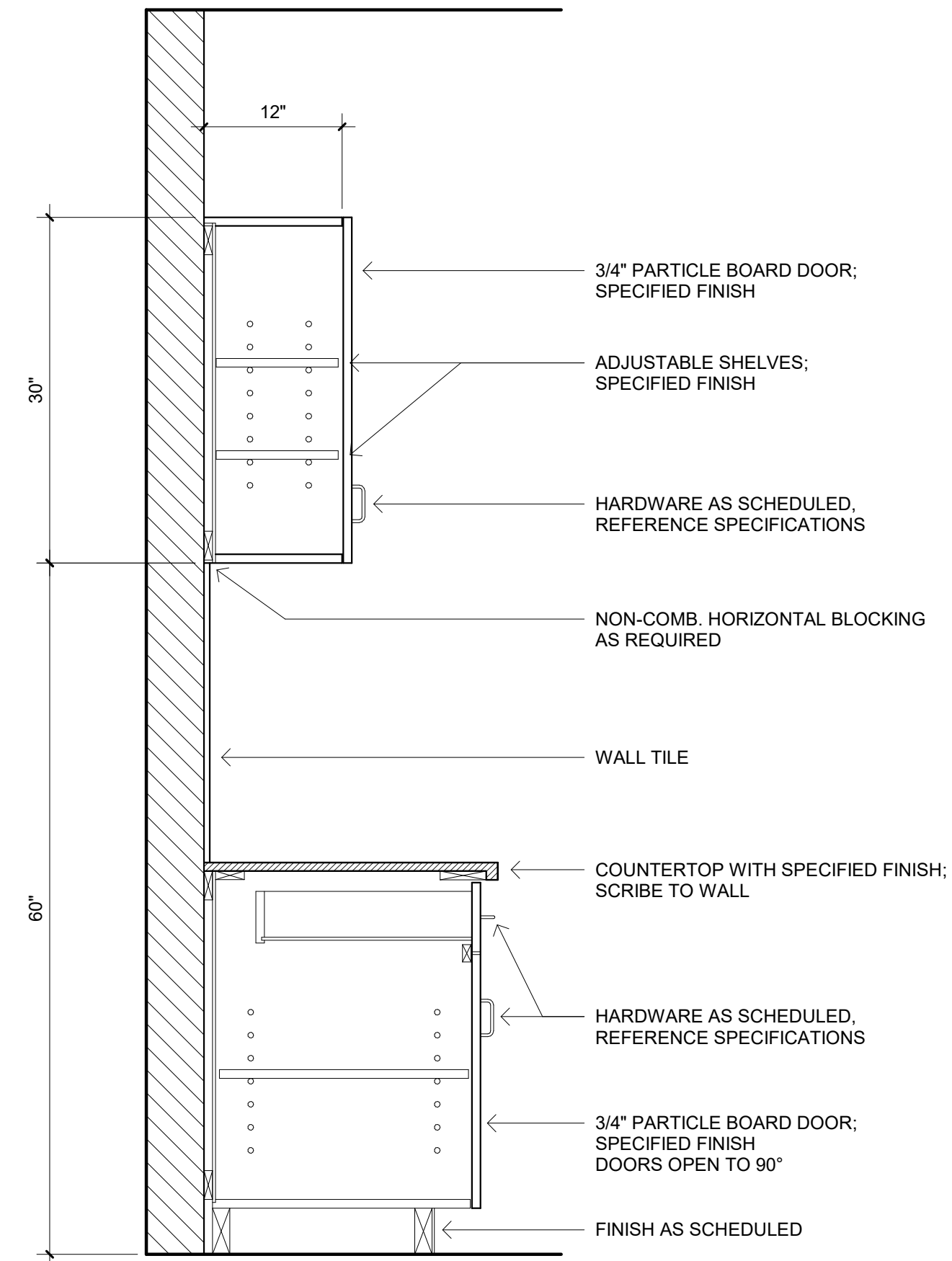
4725 South Monaco Street | Suite 225
 Denver, Colorado 80237
 303.399.9100

Contact - Tia Jenkins
 Contact - Annie Khiong

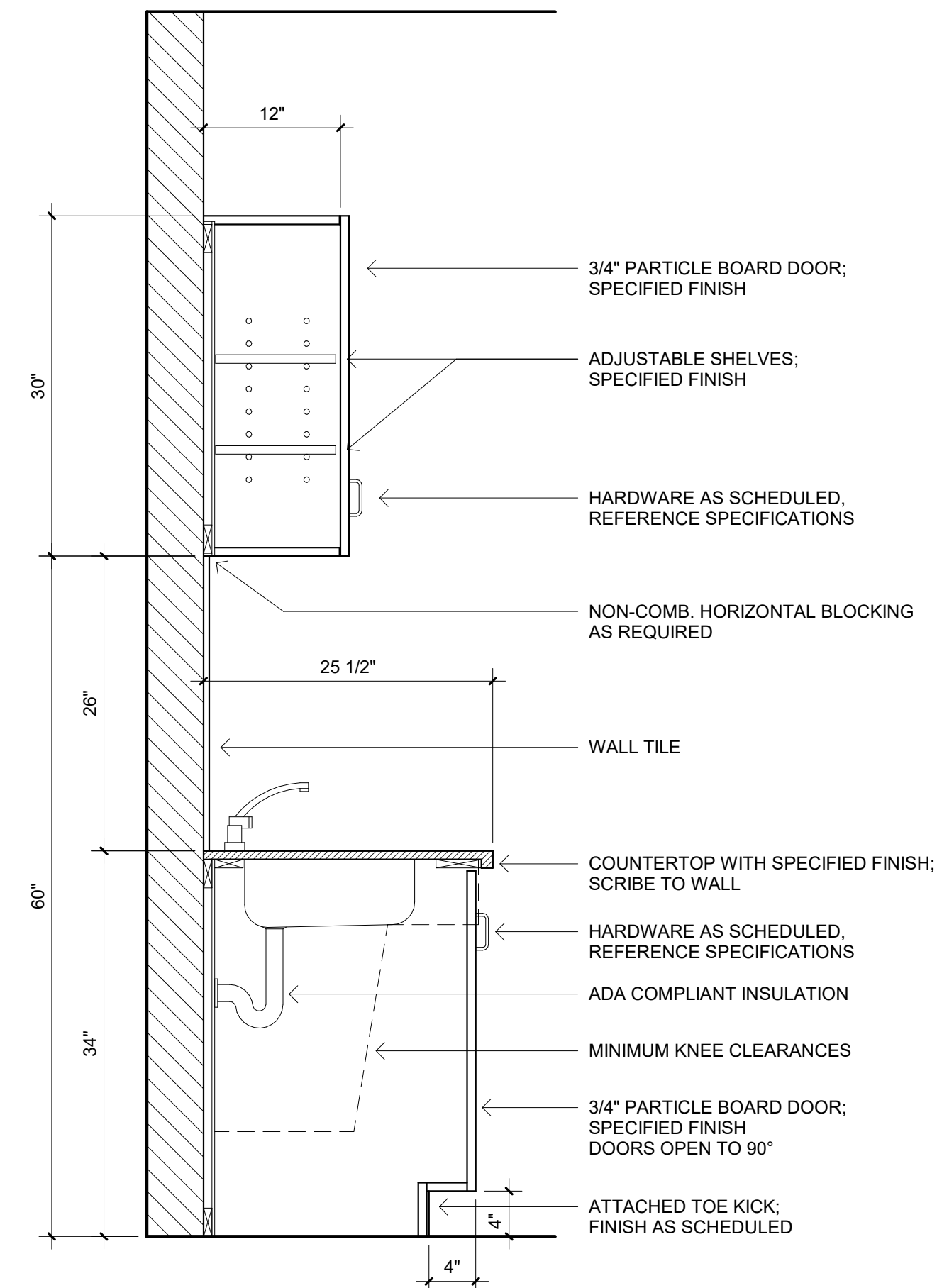
NOTE:
 REFERENCE FINISH PLAN FOR
 FINISH AND HARDWARE
 SPECIFICATIONS.



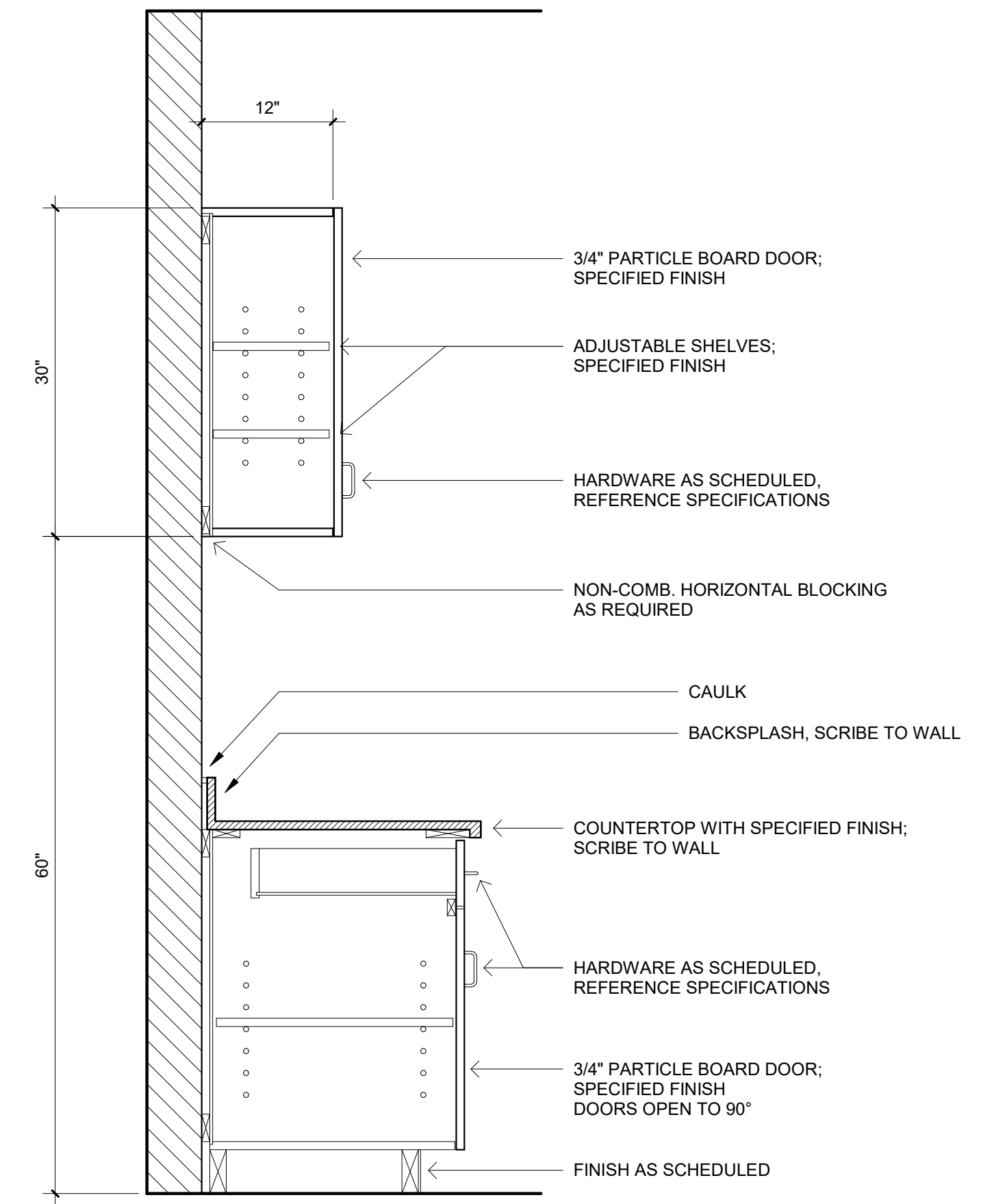
7 Section at Base Cabinet Drawers
 1" = 1'-0"



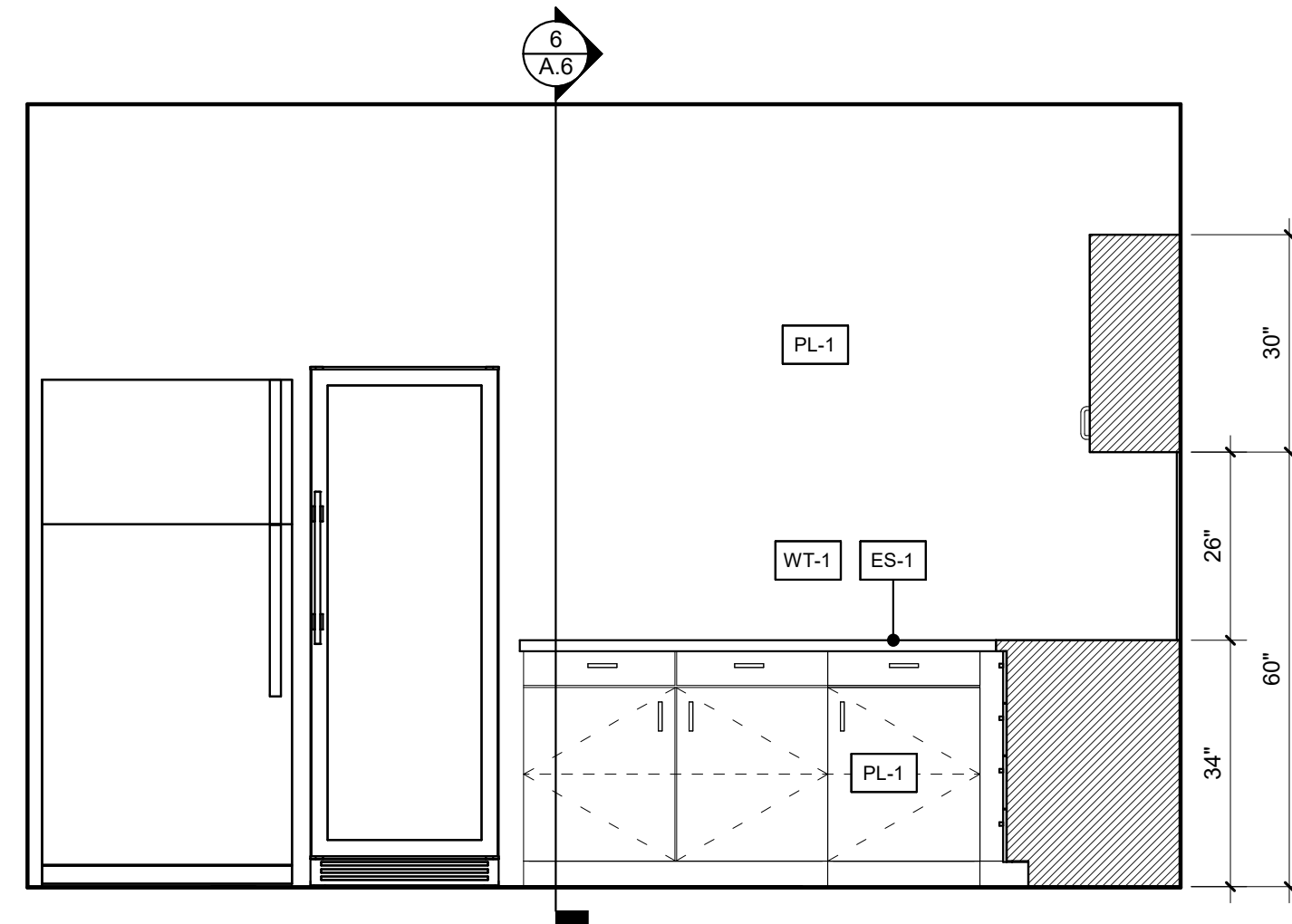
6 Section at Typical Break Area Casework
 1" = 1'-0"



5 Section at Base Cabinet Sink Base
 1" = 1'-0"

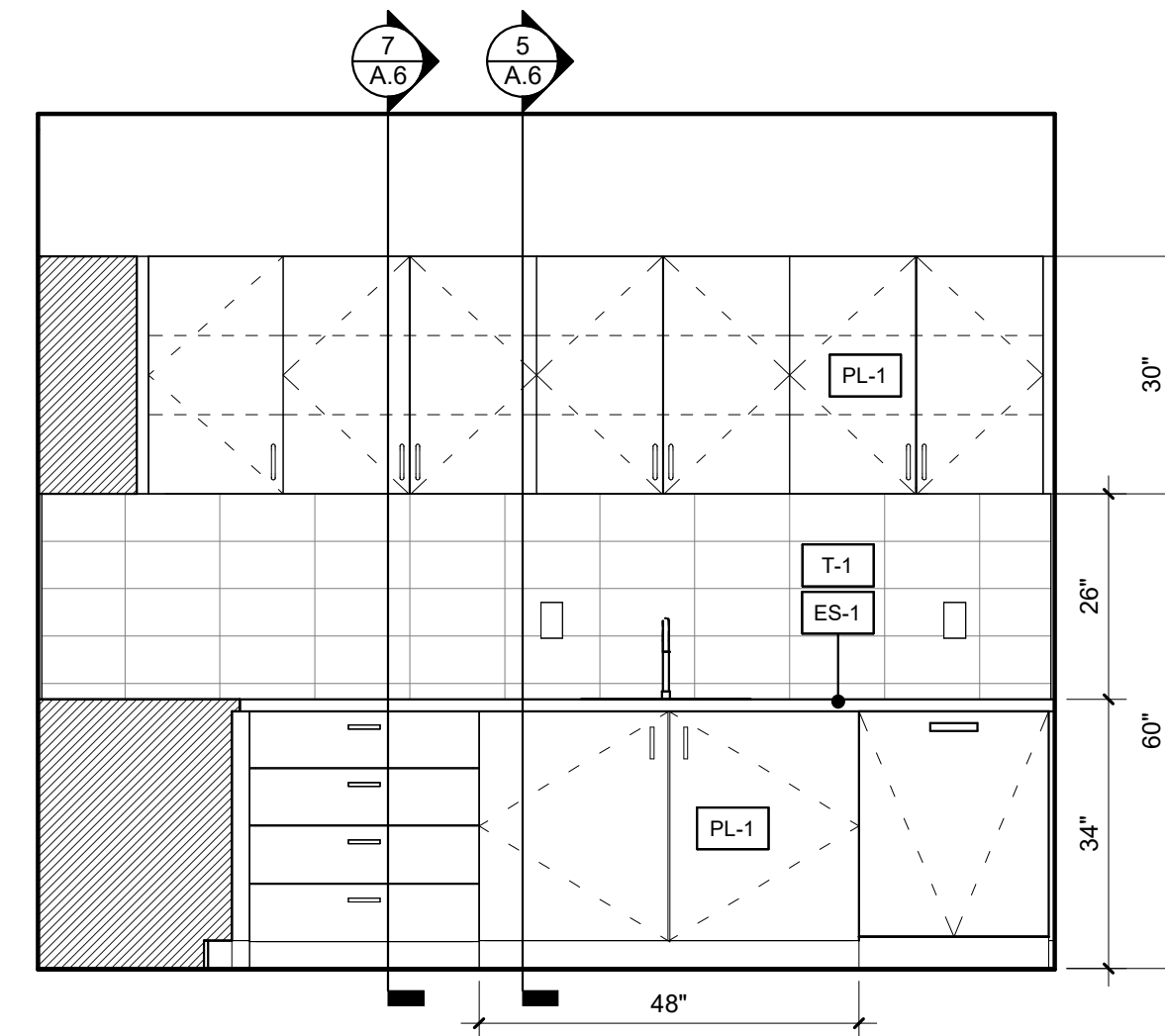


4 Section at Typical Casework
 1" = 1'-0"



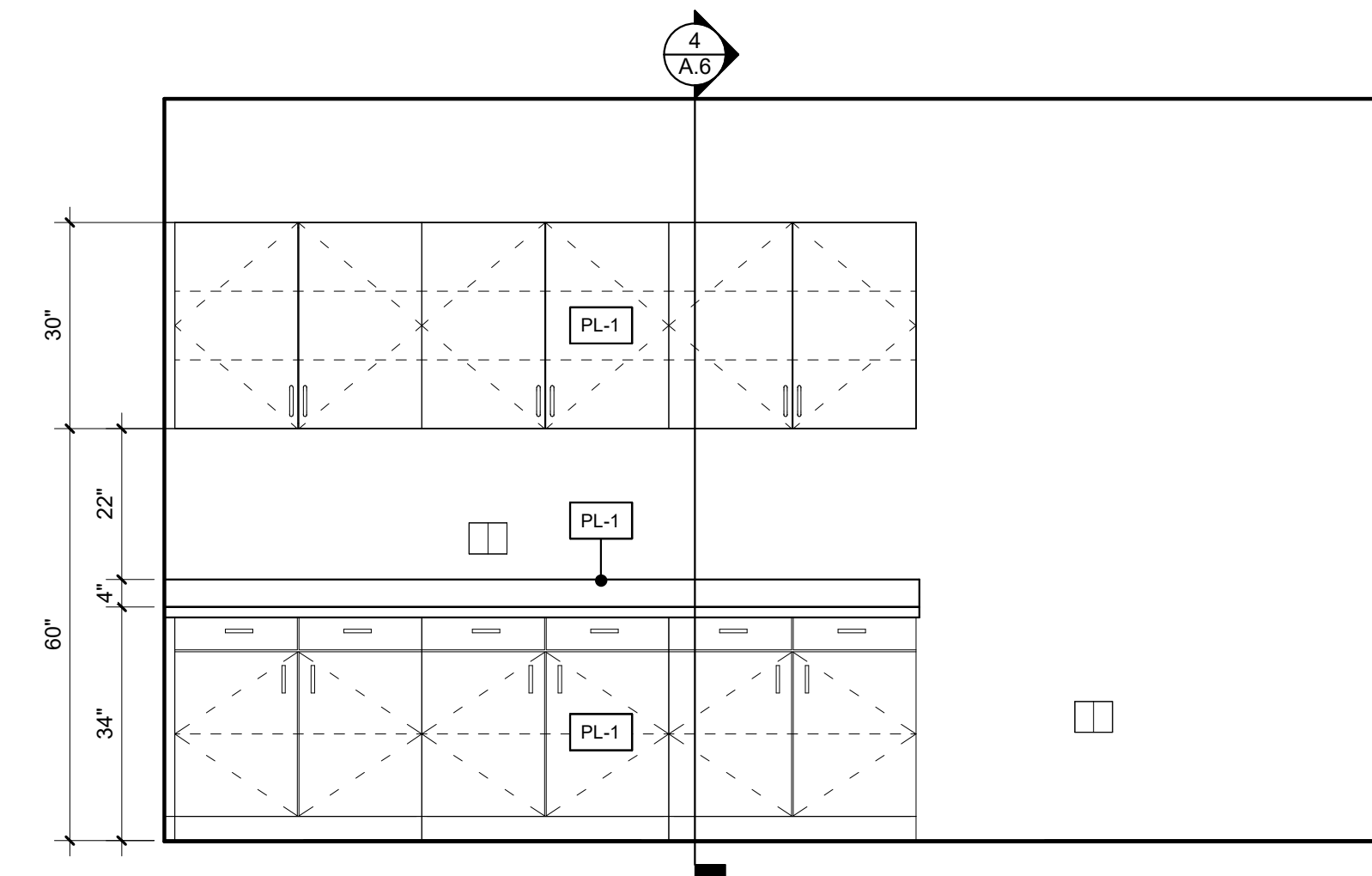
3 Elevation at Break Room 2
 1/2" = 1'-0"

NOTE: PROVIDE FINISHED ENDS AND FILLER PANELS WHERE REQUIRED.



2 Elevation at Break Room 1
 1/2" = 1'-0"

NOTE: PROVIDE FINISHED ENDS AND FILLER PANELS WHERE REQUIRED.



1 Elevation at Copy
 1/2" = 1'-0"

NOTE: PROVIDE FINISHED ENDS AND FILLER PANELS WHERE REQUIRED.

VENTILATION SCHEDULE													
ROOM NUMBER	ROOM NAME	OCCUPANCY CLASSIFICATION 2021 IMC, TABLE 403.3		AREA OF OCCUPANCY (SQ.FT)	OCCUPANCY LOAD (PER 1,000 SF)	NUMBER OF PEOPLE	OUTDOOR AIR PER OCCUPANCY (CFM PER PERSON)	OUTDOOR AIR PER SQ. FT. (CFM)	EXHAUST RATE (CFM)	ZONE AIR DISTRIBUTION EFFECTIVENESS	OUTDOOR AIR REQUIRED (CFM)	PRIMARY AIRFLOW (CFM)	PRIMARY OUTDOOR AIR FRACTION, Zp
401	RECEPTION	OFFICES	RECEPTION AREAS	417	30	13	5	0.06	---	0.8	113	420	0.27
402	OFFICE	OFFICES	OFFICE SPACES	158	5	1	5	0.06	---	0.8	19	120	0.16
403	COPY	OFFICES	OFFICE SPACES	110	5	1	5	0.06	---	0.8	15	110	0.14
408	OFFICE	OFFICES	OFFICE SPACES	134	5	1	5	0.06	---	0.8	17	280	0.06
409	OFFICE	OFFICES	OFFICE SPACES	134	5	1	5	0.06	---	0.8	17	280	0.06
410	OFFICE	OFFICES	OFFICE SPACES	134	5	1	5	0.06	---	0.8	17	280	0.06
411	OFFICE	OFFICES	OFFICE SPACES	134	5	1	5	0.06	---	0.8	17	280	0.06
412	CONF.	OFFICES	CONFERENCE ROOMS	237	50	12	5	0.06	---	0.8	93	600	0.16
413	OFFICE	OFFICES	OFFICE SPACES	132	5	1	5	0.06	---	0.8	17	140	0.12
414	OFFICE	OFFICES	OFFICE SPACES	133	5	1	5	0.06	---	0.8	17	140	0.12
415	OFFICE	OFFICES	OFFICE SPACES	139	5	1	5	0.06	---	0.8	17	140	0.12
416	OFFICE	OFFICES	OFFICE SPACES	139	5	1	5	0.06	---	0.8	17	140	0.12
417	OPEN AREA	OFFICES	OFFICE SPACES	911	5	5	5	0.06	---	0.8	100	780	0.13
418	BREAK	OFFICES	OFFICE SPACES	172	5	1	5	0.06	---	0.8	20	170	0.12
419	OFFICE	OFFICES	OFFICE SPACES	134	5	1	5	0.06	---	0.8	17	120	0.14
420	CONFERENCE	OFFICES	OFFICE SPACES	297	5	2	5	0.06	---	0.8	35	450	0.08
--	HALL	PUBLIC SPACES	CORRIDORS	710	---	---	---	0.06	---	0.8	54	430	0.13

NOTES

- SCHEDULE BASED ON INTERNATIONAL MECHANICAL CODE, 2021 EDITION, CHAPTER 4 VENTILATION.
- ZONE AIR DISTRIBUTION EFFECTIVENESS DETERMINED USING TABLE 403.3.1.2.
- SYSTEM VENTILATION EFFICIENCY DETERMINED USING TABLE 403.3.2.3.2. INTERPOLATION UTILIZED.
- OCCUPANT DIVERSITY ASSUMED TO BE NEGLIGIBLE.
- OA REQUIRED IS THE SUM OF THE CALCULATED OUTDOOR AIR DIVIDED BY THE VENTILATION EFFICIENCY, EV.

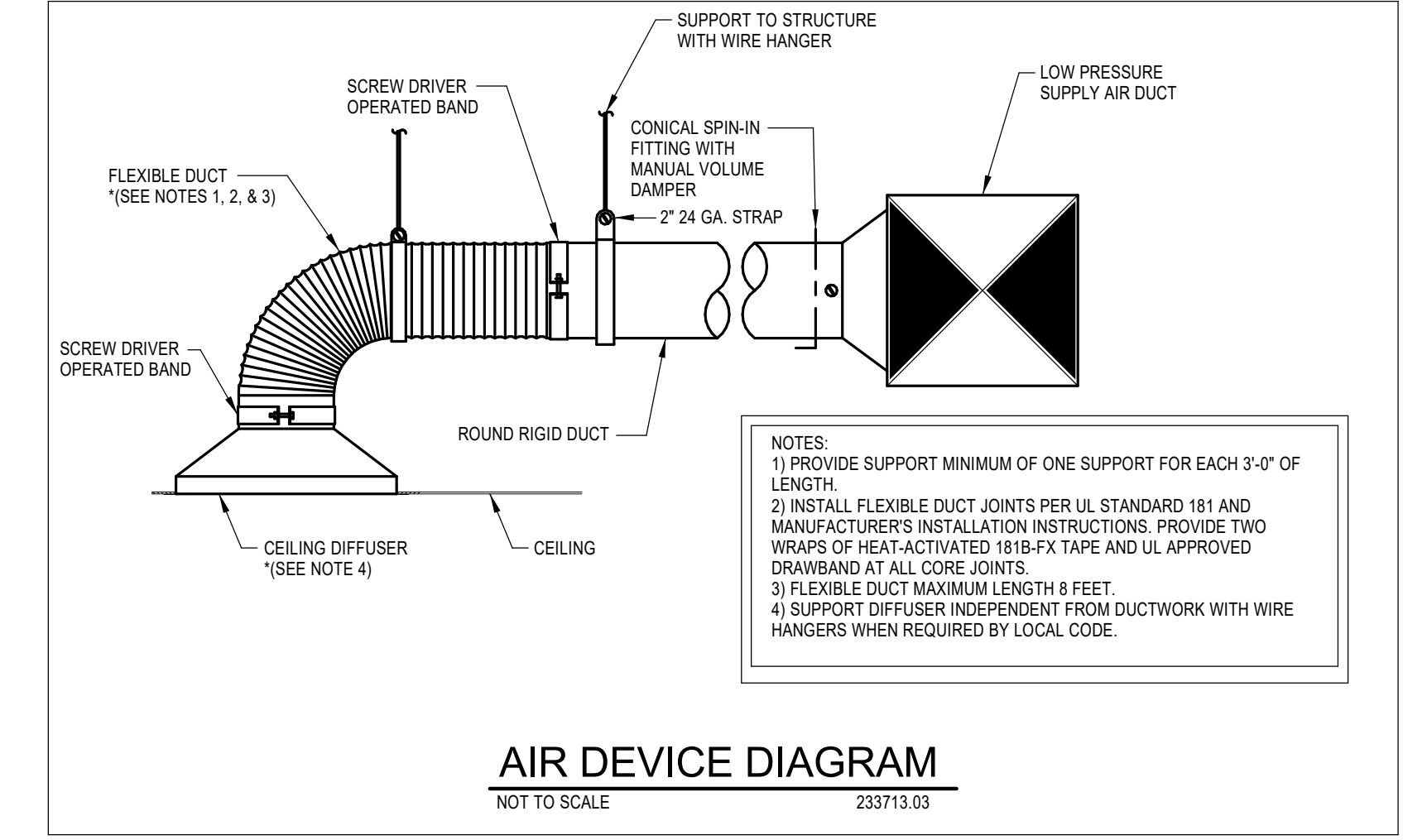
SUMMARY

OA REQUIRED	684	CFM	MAX Zp	0.27	TOTAL AREA (SQ FT)	4,225
SA PROVIDED	4,880	CFM	EV	0.88	CFM PER SQ FT	1.2
OA PERCENTAGE	30	%				
OA PROVIDED	1,465	CFM				

THE AMOUNT OF OUTSIDE AIR PROVIDED EXCEEDS THE CODE REQUIRED MINIMUM.

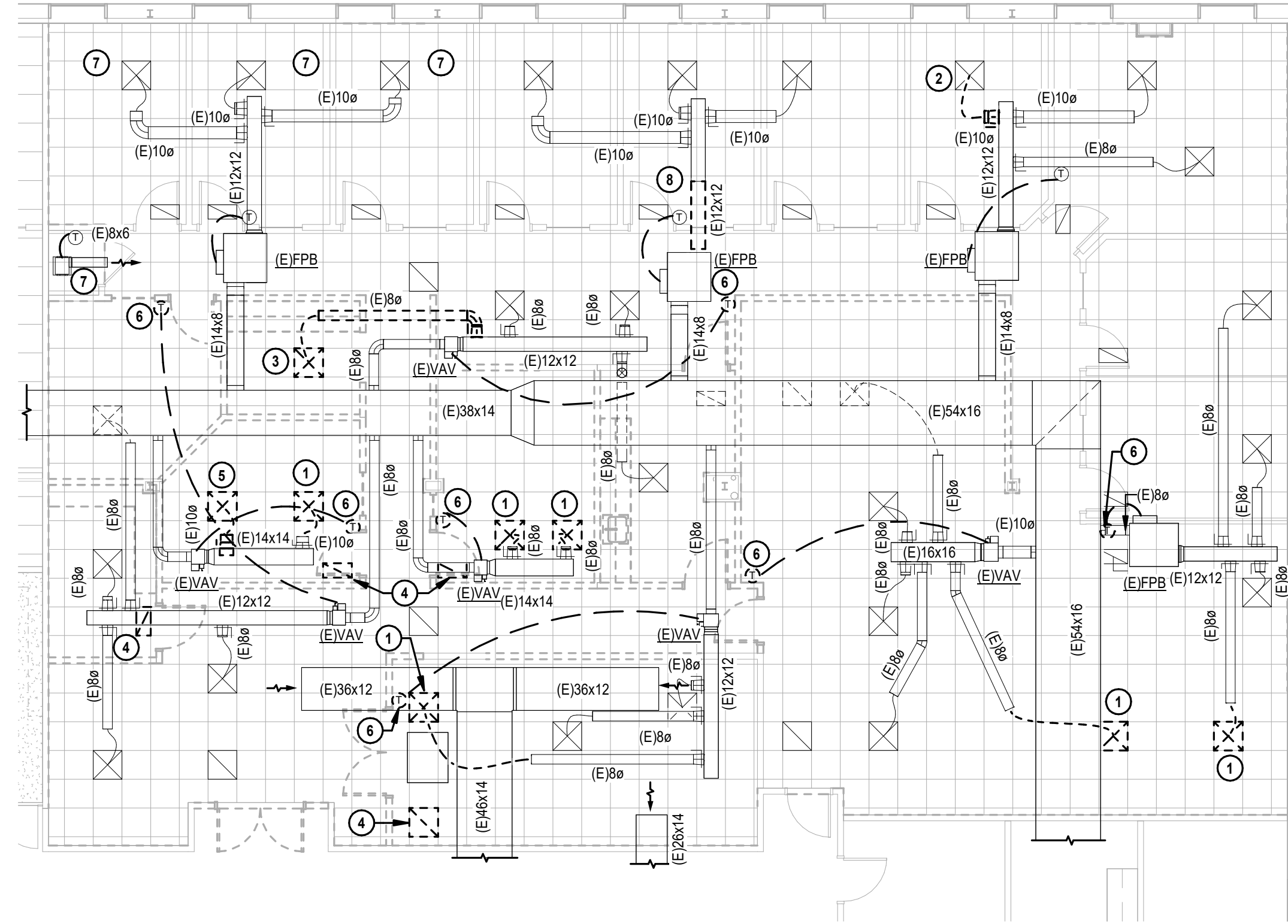
DEMAND CONTROL VENTILATION SEQUENCE OF OPERATIONS

- (E)IAV BOX:**
- OCCUPIED CYCLE: AS CO2 SENSOR DETECTS OCCUPANCY, UNOCCUPIED MINIMUM DAMPER SET POINT SHALL CHANGE TO ROOM OCCUPIED MINIMUM POSITION. COOLING DAMPER SHALL MODULATE THE SUPPLY AIR, TO MAINTAIN THERMOSTAT SET POINT.
 - UNOCCUPIED CYCLE: THE SUPPLY AIR DAMPER SHALL MODULATE TO ITS MINIMUM UNOCCUPIED POSITION.



LEWIS RINGELMAN, P.C.

101 UNIVERSITY
FOURTH FLOOR - SUITE 400
101 UNIVERSITY BOULEVARD
DENVER, COLORADO 80206



MECHANICAL DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES:

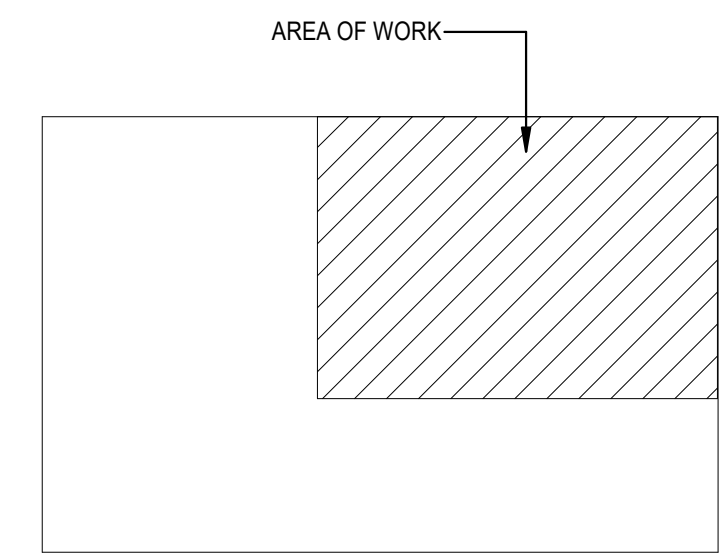
1. ALL EXISTING HVAC EQUIPMENT AND DEVICES TO REMAIN UNLESS NOTED OTHERWISE.
2. COORDINATE REPLACEMENT/REPAIR OF CEILING AND WALLS WITH GENERAL CONTRACTOR. MATCH EXISTING BUILDING STANDARDS.
3. COORDINATE DISPOSAL/RETURN TO BUILDING STOCK OF ALL DEMOLISHED HVAC MATERIALS WITH PROPERTY MANAGER.
4. ANY UNUSED SPIN-IN FITTINGS SHALL BE CAPPED AND SEALED. CONTRACTOR SHALL INSPECT ALL EXISTING DUCTWORK AND REPAIR ANY AUDIBLE OR FELT LEAKS.
5. REFERENCE HVAC PLANS FOR NEW LOCATIONS OF RELOCATED HVAC EQUIPMENT, ETC.
6. CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES THAT MAY AFFECT THE HVAC SYSTEM.
7. ALL DUCT DIMENSIONS SHOWN ARE SHEET METAL DIMENSIONS.

DRAWING NOTES:

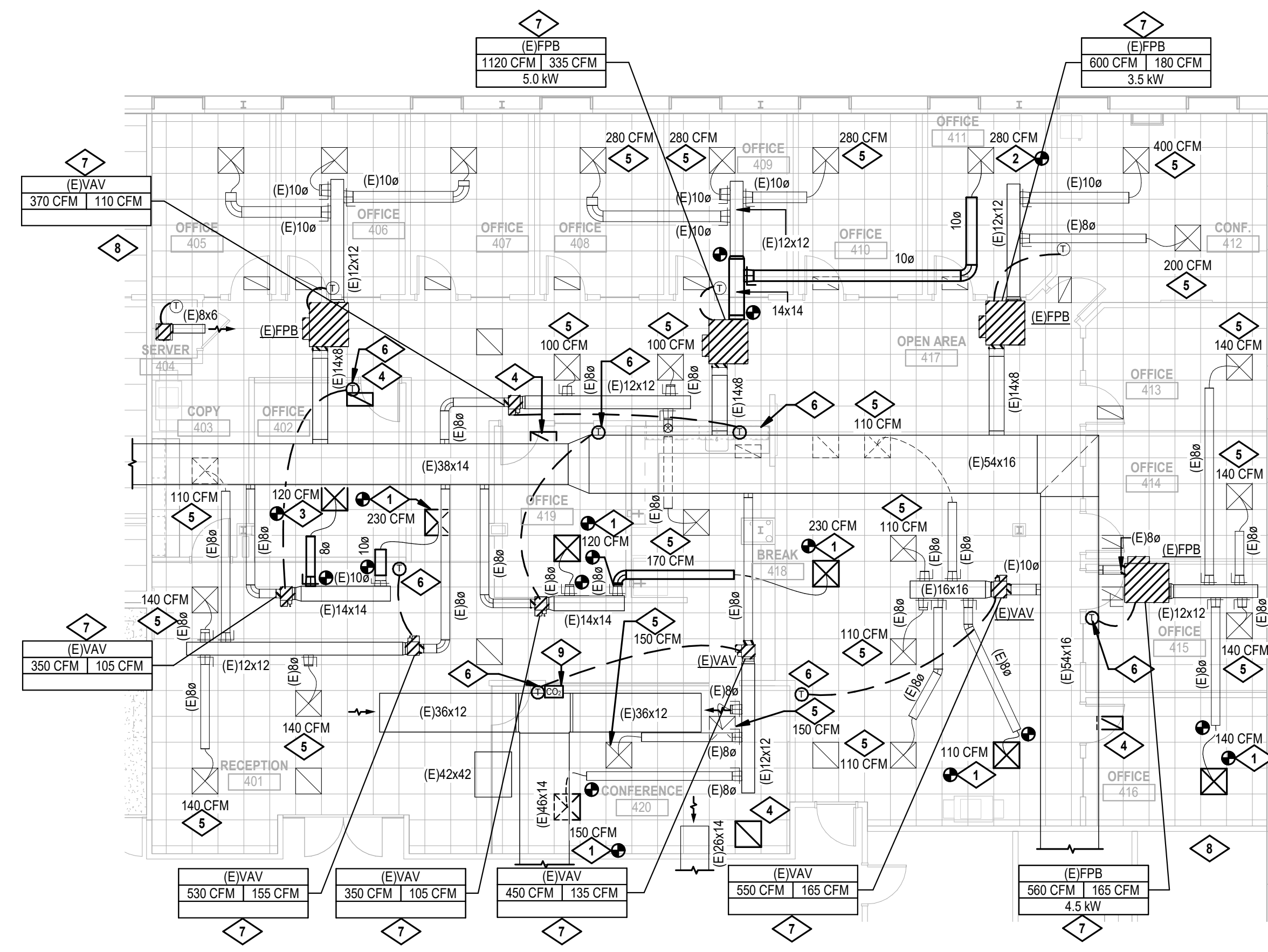
1. RELOCATE EXISTING SUPPLY AIR DEVICE. REMOVE EXISTING DUCTWORK AS SHOWN.
2. EXISTING SUPPLY AIR DEVICE TO REMAIN. REMOVE EXISTING BRANCH DUCT AND SPIN-IN FITTING. PATCH MAIN DUCTWORK AIRTIGHT.
3. RELOCATE EXISTING SUPPLY AIR DEVICE. REMOVE EXISTING BRANCH DUCT AND SPIN-IN FITTING. PATCH MAIN DUCTWORK AIRTIGHT.
4. RELOCATE EXISTING RETURN AIR DEVICE.
5. REMOVE EXISTING SUPPLY AIR DEVICE. REMOVE EXISTING BRANCH DUCT AND SPIN-IN FITTING. PATCH MAIN DUCTWORK AIRTIGHT.
6. RELOCATE EXISTING THERMOSTAT.
7. EXISTING MECHANICAL TO REMAIN, NO MECHANICAL WORK IN THIS AREA.
8. REMOVE EXISTING BRANCH DUCTWORK AS SHOWN. PREPARE TO RECONNECT PER NEW PLAN.

LEWIS RINGELMAN, P.C.

101 UNIVERSITY
FOURTH FLOOR - SUITE 400
101 UNIVERSITY BOULEVARD
DENVER, COLORADO 80206



Keyplan
NOT TO SCALE



MECHANICAL PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES:

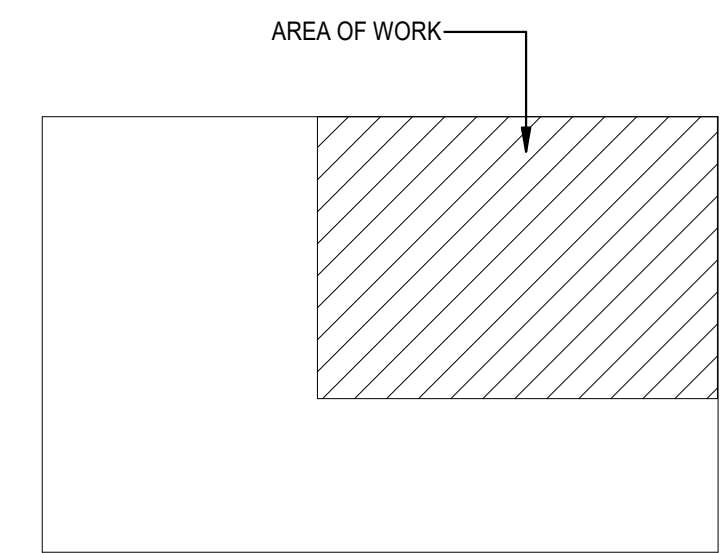
1. ALL EQUIPMENT, GRDs AND MATERIALS ARE NEW EXCEPT WHEN AVAILABLE IN OWNERS' STOCK. CHECK OWNERS' STOCK PRIOR TO PRICING OR BID. COORDINATE WITH BUILDING ENGINEER.
2. REFERENCE EQUIPMENT TAGS FOR VAV/FPB UNIT BALANCING VALUES.
3. REFERENCE DIAGRAMS FOR INSTALLATION OF NEW AND RELOCATED HVAC EQUIPMENT AND DEVICES.
4. PLANS ARE DIAGRAMMATIC AND ONLY SHOW THE GENERAL ARRANGEMENT OF SYSTEMS AND WORK INCLUDED. THE PLANS DO NOT SHOW EVERY OFFSET AND TRANSITION. CONTRACTOR SHALL FOLLOW PLANS IN LAYING OUT WORK AND COORDINATE WITH OTHER TRADES TO VERIFY SPACE IN WHICH WORK IS INSTALLED.
5. ALL DUCT DIMENSIONS SHOWN ARE SHEET METAL DIMENSIONS.
6. NOT ALL DUCT TRANSITIONS AND OFFSETS ARE SHOWN. CONTRACTOR SHALL PROVIDE THE NECESSARY FITTING REQUIRED AND INSTALL ACCORDINGLY.
7. COORDINATE NEW AND OR RELOCATED AIR DEVICE LOCATIONS WITH EXISTING SPRINKLER HEADS AND LIGHTING LAYOUT. FIELD VERIFY.
8. COORDINATE THERMOSTAT LOCATIONS WITH FURNITURE LAYOUT. INSTALL ACCORDINGLY. VERIFY FURNITURE LAYOUT WITH ARCHITECTURAL DRAWINGS.
9. CONTRACTOR SHALL PROVIDE NECESSARY CODE COMPLYING CLEARANCES FOR ALL EQUIPMENT INSTALLED.

DRAWING NOTES:

- 1 NEW LOCATION, EXISTING SUPPLY AIR DEVICE. SHORTEN/EXTEND EXISTING BRANCH DUCTWORK AS REQUIRED. BALANCE TO CFM NOTED.
- 2 EXISTING SUPPLY AIR DEVICE. PROVIDE NEW SPIN-IN FITTING AND BRANCH DUCTWORK AS SHOWN. BALANCE TO CFM NOTED.
- 3 NEW LOCATION, EXISTING SUPPLY AIR DEVICE. PROVIDE NEW SPIN-IN FITTING AND BRANCH DUCTWORK AS SHOWN. BALANCE TO CFM NOTED.
- 4 NEW LOCATION, EXISTING RETURN AIR DEVICE.
- 5 EXISTING SUPPLY AIR DEVICE. BALANCE TO CFM NOTED.
- 6 NEW LOCATION, EXISTING THERMOSTAT. SHORTEN/EXTEND CONTROL WIRING AS REQUIRED.
- 7 EXISTING VAV/FPB UNIT. BALANCE TO CFM NOTED IN EQUIPMENT TAG.
- 8 EXISTING WALLS WITH 4" GAP FOR RETURN AIR PATH.
- 9 PROVIDE NEW CO2 SENSOR AND INTERLOCK WITH EXISTING VAV OPERATION. SEE DEMAND CONTROL VENTILATION SEQUENCE OF OPERATION.

LEWIS RINGELMAN, P.C.

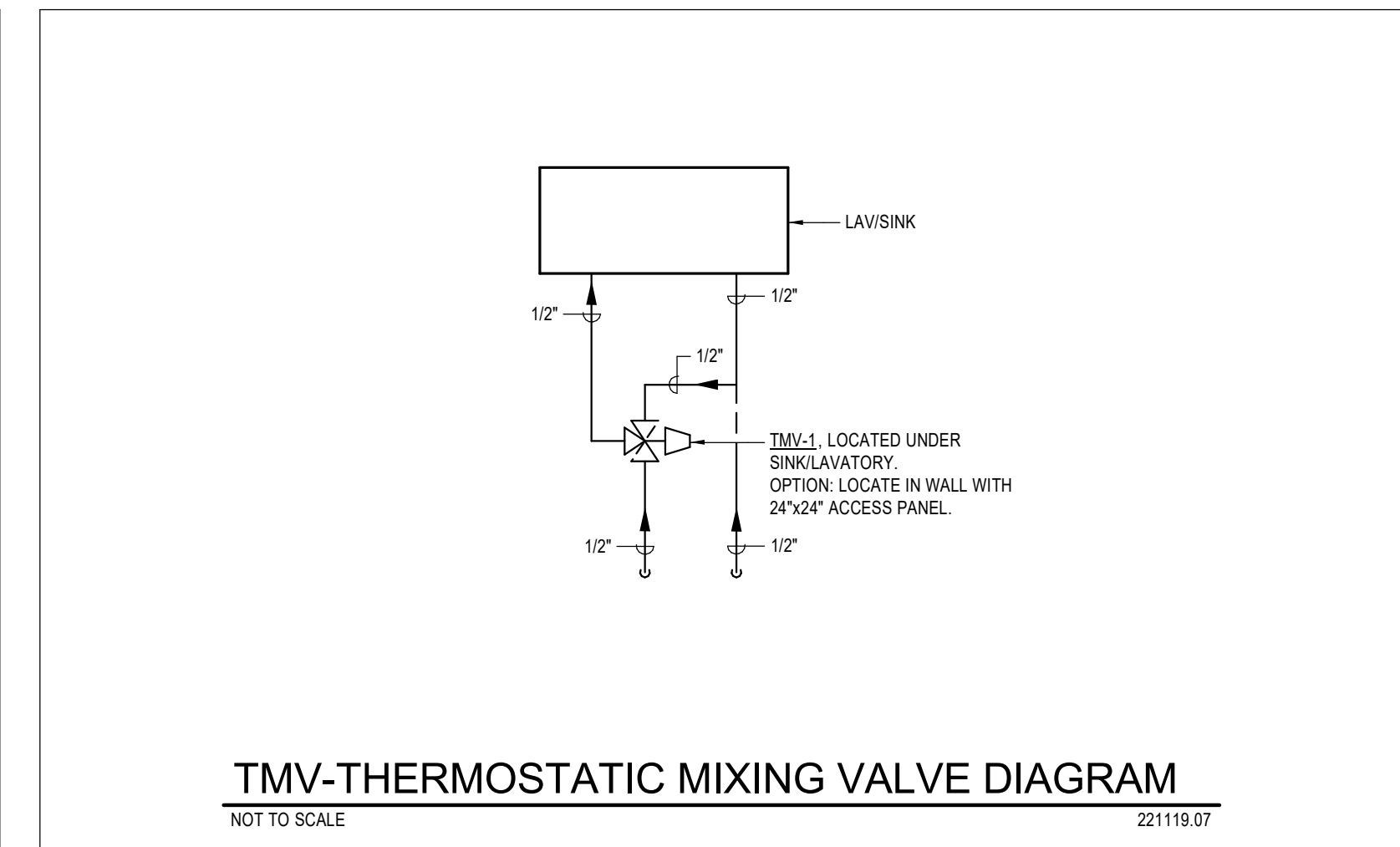
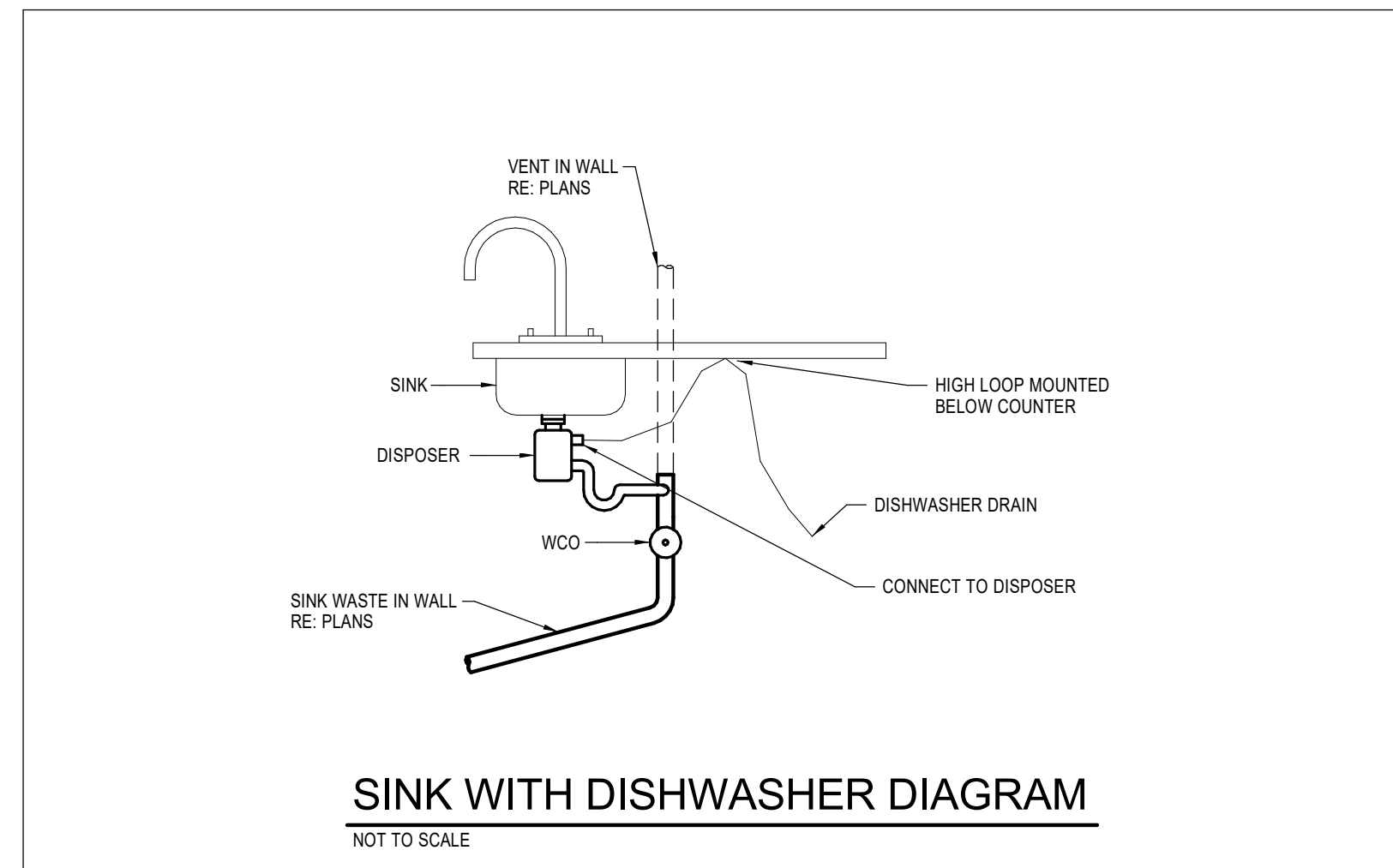
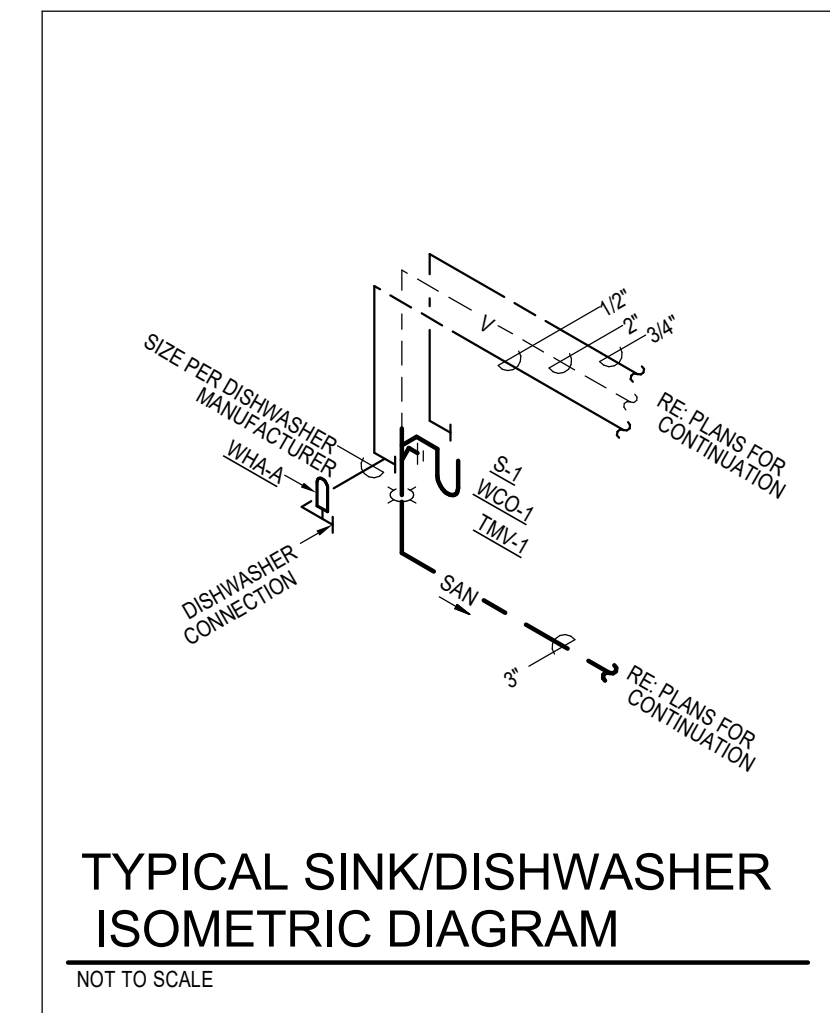
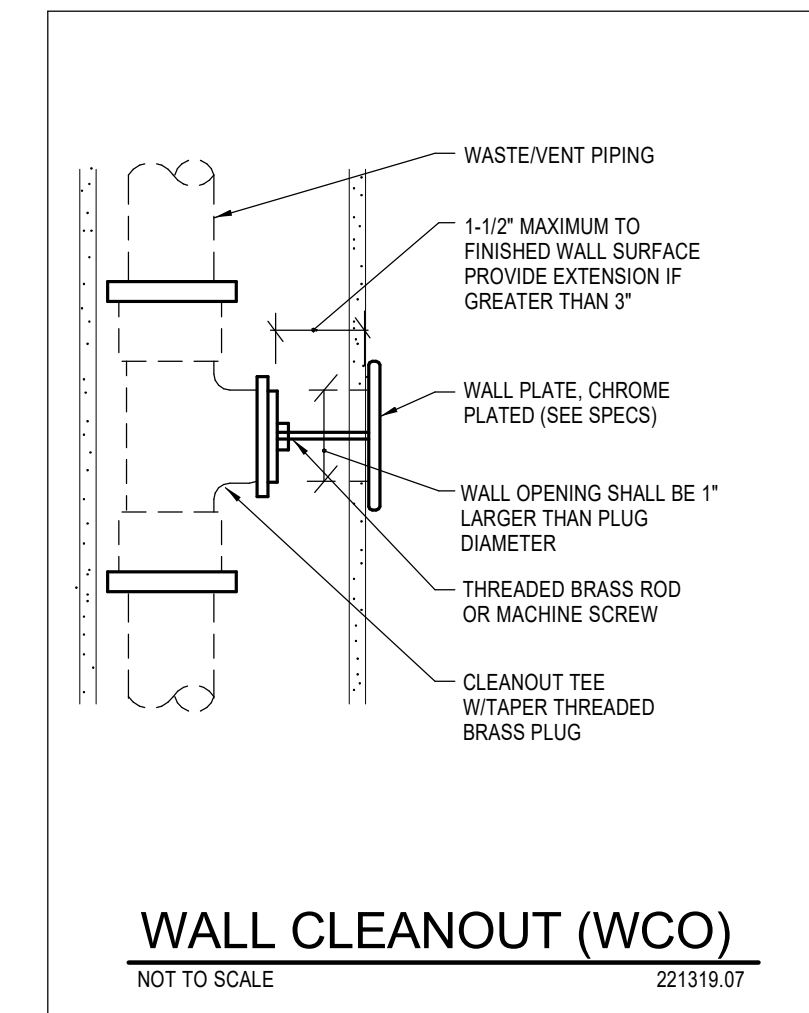
101 UNIVERSITY
FOURTH FLOOR - SUITE 400
101 UNIVERSITY BOULEVARD
DENVER, COLORADO 80206



Keyplan
NOT TO SCALE

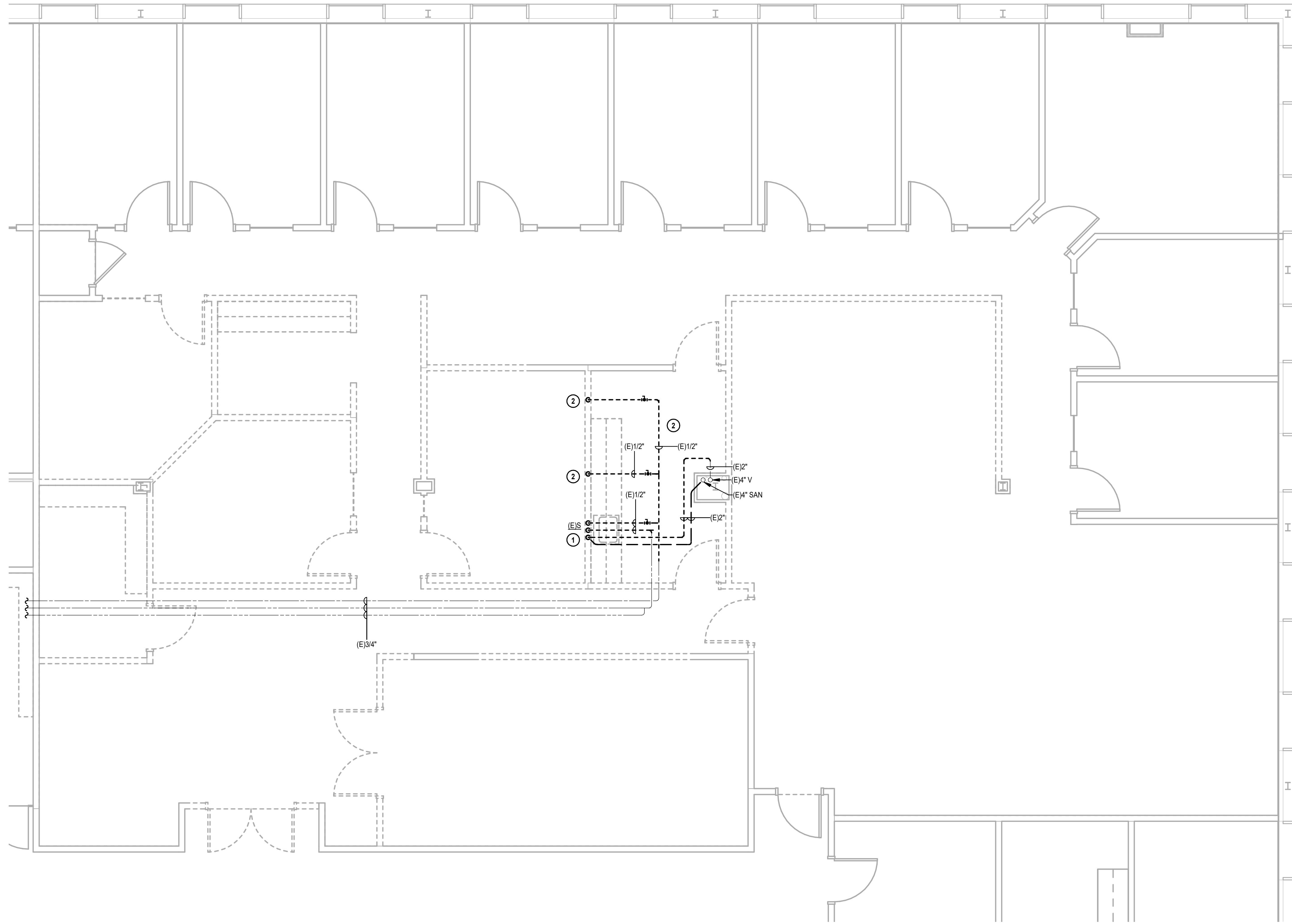
SYMBOL	TYPE	ADA	ACCESSORIES	FINISH	MANUFACTURER & MODEL NUMBER	FAUCET TRIM MANUFACTURER & MODEL NUMBER	ACCEPTABLE MANUFACTURERS	REMARKS	ROUGH IN CONNECTION SIZING			
									WASTE (INCHES)	VENT (INCHES)	HOT (INCHES)	COLD (INCHES)
BFP-1	ICE MACHINE/BEVERAGE DISPENSER DOUBLE CHECK BACKFLOW PREVENTER	N/A	ASSE 1032 CERTIFIED	BRONZE	ZURN 700XL	-	APOLLO VALVES CONBRACO WATTS	LEAD FREE ASSEMBLY	-	-	-	1/4
D-1	DISPOSER - 3/4 HP, 120-1-60 STAINLESS STEEL ELEMENTS	N/A	MOTOR OVERLOAD PROTECTION, PLUG AND CORD.	-	IN SINK ERATOR BADGER 5XP	-	NATIONAL WASTE KING	4-YEAR WARRANTY	-	-	-	-
S-1	SINK - 23-1/2"x18-1/4" O.D. SINGLE COMPARTMENT, UNDERMOUNT, SINGLE HANDLE PULL-DOWN KITCHEN FAUCET, METAL CONSTRUCTION & 9" SPOUT, 1.8 GPM	YES	INTEGRAL SPRAY FAUCET, OFFSET DRAIN OPENING FOR ADA COMPLIANCE, LEAD FREE	STAINLESS STEEL CHROME FAUCETS	ELKAY ELUHAD21155SPD	DELTA 9159-DST	JUST, KOHLER, STANADYNE	5-3/8" DEEP SINK, COORDINATE FAUCET HOLE CONFIGURATION WITH FAUCET	2	2	1/2	1/2
TMV-1	POINT OF USE THERMOSTATIC MIXING VALVE WITH HIGH TEMPERATURE LIMIT STOP, INTEGRAL CHECK VALVES	N/A	MINIMUM FLOW 0.5 GPM, MAXIMUM FLOW 7 GPM, LOCKING TEMPERATURE CONTROL	BRONZE	LEONARD #270-LF	-	LAWLER POWERS SYMMONS	SET MAXIMUM TEMPERATURE TO 110°F LEAD FREE ASSEMBLY	-	-	1/2	1/2
WB-1	ICE MACHINE/BEVERAGE DISPENSER WALL BOX, STEEL RECESSED, 1/2" NPT BOTTOM INLET 1/4" COMPRESSION OUTLET	N/A	INTEGRAL HAMMER ARRESTER OPEN FRAME FACEPLATE	PAINTED STEEL	OATEY 39140	-	LSP PRODUCTS GUY GRAY SIOUX CHIEF	FOR COMMERCIAL APPLICATIONS	-	-	-	1/2
WCO-1	WALL CLEANOUT TEE WITH COUNTERSUNK PLUG STAINLESS STEEL COVER PLATE	N/A	-	STAINLESS STEEL	ZURN Z1446	-	JOSAM J.R. SMITH WADE, WATTS	-	-	-	-	-

NOTES:
1. FIXTURES SHOWN CONSTITUTE NEGLIGIBLE CHANGE TO OVERALL WATER SERVICE.
2. ALL CONNECTIONS TO POTABLE WATER SYSTEM SHALL CONFORM TO NSF/ANSI-61 AND NSF/ANSI-372 EFFECTIVE 01/04/2014.
3. PLUMBING FIXTURES SHALL MEET MAXIMUM FLOW RATE/CONSUMPTION VALUES PER 2022 DPC TABLE 604.4.



LEWIS RINGELMAN, P.C.

101 UNIVERSITY
FOURTH FLOOR - SUITE 400
101 UNIVERSITY BOULEVARD
DENVER, COLORADO 80206



 **PLUMBING DEMOLITION PLAN**
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

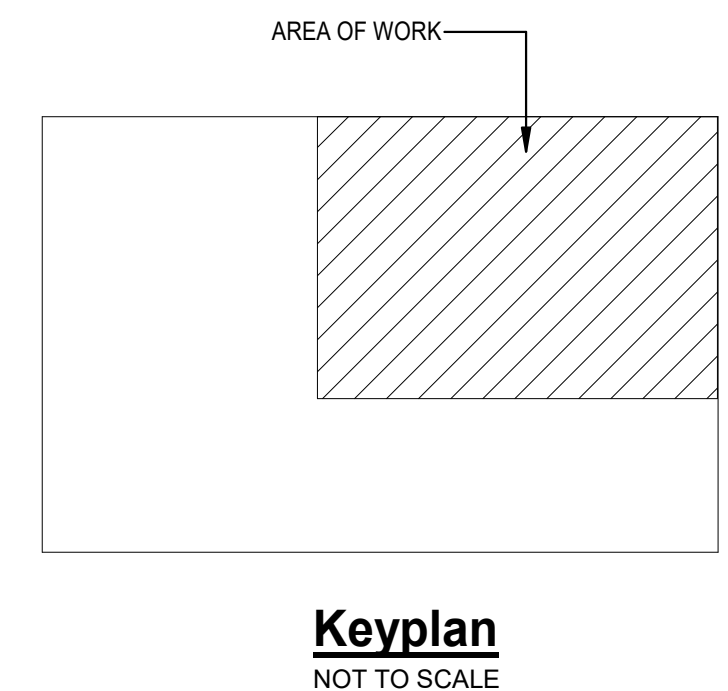
1. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL CUTTING AND PATCH WITH GENERAL CONTRACTOR.
2. CONTRACTOR SHALL FIELD VERIFY ALL PLUMBING SYSTEMS, PIPE SIZES, SLOPES, INVERTS, DIRECTIONS OF FLOW, AND EXACT LOCATIONS PRIOR TO BEGINNING WORK.
3. PLANS ARE DIAGRAMMATIC AND ONLY SHOW THE GENERAL ARRANGEMENT OF SYSTEMS AND WORK INCLUDED. THE PLANS DO NOT SHOW EVERY OFFSET AND TRANSITION. CONTRACTOR SHALL FOLLOW PLANS IN LAYING OUT WORK AND COORDINATE WITH OTHER TRADES TO VERIFY SPACE IN WHICH WORK IS INSTALLED.
4. REFER TO SCHEDULES, DIAGRAMS AND ISOMETRIC DIAGRAMS FOR ALL PIPE SIZES NOT SHOWN ON PLAN. FIELD VERIFY EXISTING PIPE SIZES PRIOR TO BEGINNING WORK.
5. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ANY AND ALL SERVICE DOWNTIME WITH AFFECTED TENANT(S) AND PROJECT MANAGER PRIOR TO THE INTERRUPTION OF SERVICE.
6. COORDINATE SCHEDULE OF FLOOR PENETRATIONS AND WASTE PIPE INSTALLATION WITH TENANT BELOW AND BUILDING MANAGEMENT PRIOR TO BEGINNING CONSTRUCTION. UTILIZE ANY EXISTING ROUGH-IN AND BUILDING MAIN WASTE AND VENT CONNECTIONS.
7. CONTRACTOR SHALL CONFIRM REQUIREMENTS FOR LOCATING STEEL REINFORCING PRIOR TO MAKING FLOOR PENETRATIONS. PERFORM FLOOR X-RAY AS REQUIRED TO LOCATE STEEL.
8. CONTRACTOR SHALL FIELD VERIFY THE PIPING CONTINUITY OF SERVICE TO EXISTING FIXTURES TO REMAIN PRIOR TO BEGINNING DEMOLITION OF PIPING.

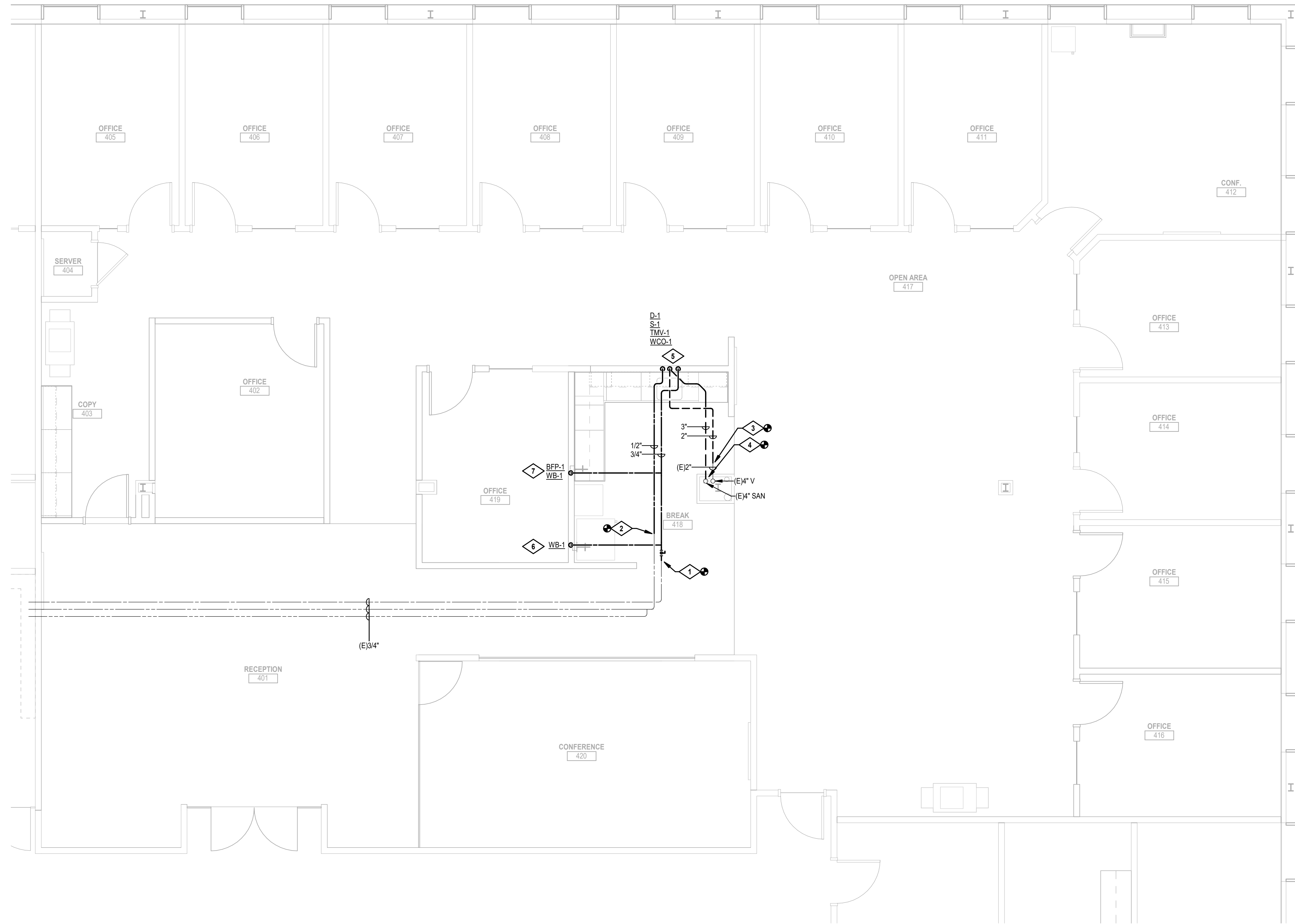
DRAWING NOTES:

1. REMOVE EXISTING SINK AND ALL ASSOCIATED ACCESSORIES. REMOVE CW/HW/VENT/WASTE PIPING BACK TO MAINS AND CAP.
2. REMOVE CW PIPING AS SHOWN AND CAP.

LEWIS RINGELMAN, P.C.

101 UNIVERSITY
FOURTH FLOOR - SUITE 400
101 UNIVERSITY BOULEVARD
DENVER, COLORADO 80206





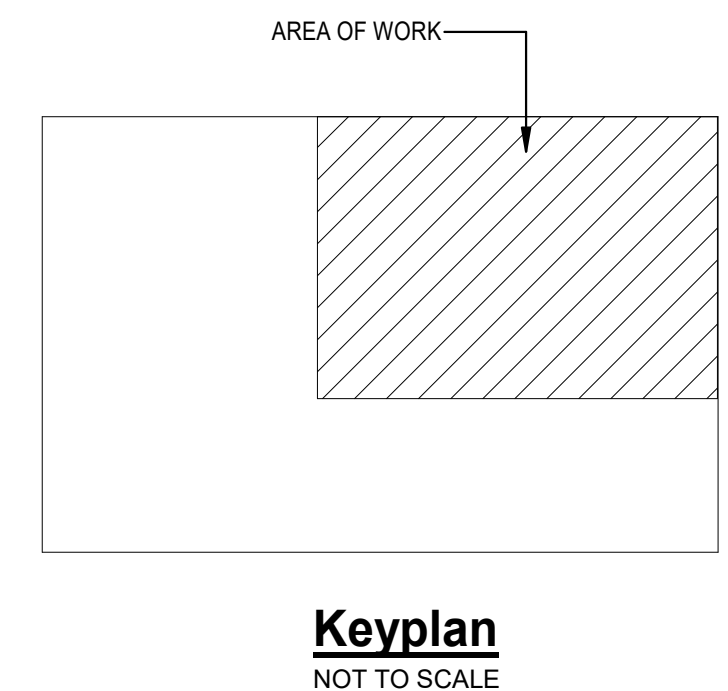
PLUMBING PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL CUTTING AND PATCH WITH GENERAL CONTRACTOR.
2. CONTRACTOR SHALL FIELD VERIFY ALL PLUMBING SYSTEMS, PIPE SIZES, SLOPES, INVERTS, DIRECTIONS OF FLOW, AND EXACT LOCATIONS PRIOR TO BEGINNING WORK.
3. PLANS ARE DIAGRAMMATIC AND ONLY SHOW THE GENERAL ARRANGEMENT OF SYSTEMS AND WORK INCLUDED. THE PLANS DO NOT SHOW EVERY OFFSET AND TRANSITION. CONTRACTOR SHALL FOLLOW PLANS IN LAYING OUT WORK AND COORDINATE WITH OTHER TRADES TO VERIFY SPACE IN WHICH WORK IS INSTALLED.
4. REFER TO SCHEDULES, DIAGRAMS AND ISOMETRIC DIAGRAMS FOR ALL PIPE SIZES NOT SHOWN ON PLAN. FIELD VERIFY EXISTING PIPE SIZES PRIOR TO BEGINNING WORK.
5. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ANY AND ALL SERVICE DOWNTIME WITH AFFECTED TENANT(S) AND PROJECT MANAGER PRIOR TO THE INTERRUPTION OF SERVICE.
6. COORDINATE SCHEDULE OF FLOOR PENETRATIONS AND WASTE PIPE INSTALLATION WITH TENANT BELOW AND BUILDING MANAGEMENT PRIOR TO BEGINNING CONSTRUCTION. UTILIZE ANY EXISTING ROUGH-IN AND BUILDING MAIN WASTE AND VENT CONNECTIONS.
7. CONTRACTOR SHALL CONFIRM REQUIREMENTS FOR LOCATING STEEL REINFORCING PRIOR TO MAKING FLOOR PENETRATIONS. PERFORM FLOOR X-RAY AS REQUIRED TO LOCATE STEEL.
8. CONTRACTOR SHALL FIELD VERIFY THE PIPING CONTINUITY OF SERVICE TO EXISTING FIXTURES TO REMAIN PRIOR TO BEGINNING DEMOLITION OF PIPING.

DRAWING NOTES:

1. CONNECT TO EXISTING CW PIPE IN THIS AREA, FIELD VERIFY.
2. CONNECT TO EXISTING HW PIPE IN THIS AREA, FIELD VERIFY.
3. CONNECT TO EXISTING VENT PIPE IN THIS AREA, FIELD VERIFY.
4. CONNECT TO EXISTING 4" WASTE STACK IN THIS AREA, FIELD VERIFY EXACT LOCATION, SLOPE, AND DIRECTION OF FLOW PRIOR TO CONSTRUCTION.
5. 3/4" CW/1/2" HW/2" VENT DOWN AND 3" WASTE UP TO NEW SINK. PROVIDE STOP VALVES AND FLEXIBLE SUPPLIES AND CONNECT TO SINK. OFFSET 1/2" HW FROM SINK AND CONNECT TO DISHWASHER PER MANUFACTURER'S RECOMMENDED INSTALLATION INSTRUCTIONS. ROUTE DISHWASHER DRAIN HOSE TO DISCHARGE INTO SINK STANDPIPE WITH AIR BREAK SEE DIAGRAM.
6. 1/2" CW DOWN TO NEW RECESSED WALL BOX. CONNECT TO REFRIGERATOR PER MANUFACTURER'S RECOMMENDED INSTALLATION INSTRUCTIONS.
7. 1/2" CW DOWN TO NEW RECESSED WALL BOX. PROVIDE DOUBLE CHECK BACKFLOW PREVENTOR AND CONNECT TO COFFEE MAKER PER MANUFACTURER'S RECOMMENDED INSTALLATION INSTRUCTIONS.



LEWIS RINGELMAN, P.C.

101 UNIVERSITY
FOURTH FLOOR - SUITE 400
101 UNIVERSITY BOULEVARD
DENVER, COLORADO 80206



COMcheck Software Version COMcheckWeb
Interior Lighting Compliance Certificate

Project Information

Energy Code: 2022 Denver Energy Code
Project Title: 24243 101 University Suite 400
Project Type: Alteration

Construction Site: 101 University Suite 400
Owner/Agent: Designer/Contractor:
Denver, Colorado 80206

Efficiency Packages

Description	Credit
-------------	--------

Allowed Interior Lighting Power

A Area Category	B Floor Area (ft ²)	C Allowed Watts / ft ²	D Allowed Watts
1: Space (Common Space Types: Office - Enclosed)	4865	0.74	3600
Total Allowed Watts =			3600

Proposed Interior Lighting Power

A Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixture	D Watt (C X D)	E
Space (Common Space Types: Office - Enclosed, 4865 sq.ft.)				
A: A: LED:	0	76	30	2265
B: B: LED:	0	1	9	9
Total Proposed Watts =			2274	

Proposed Interior Lighting Controls

Fixture	Lighting Control
Space (Common Space Types: Office - Enclosed, 4865 sq.ft.)	
A: A: LED:	Occupancy Sensor
B: B: LED:	Occupancy Sensor

Interior Lighting PASSES

Interior Lighting Compliance Statement

Compliance Statement: The proposed interior lighting alteration project represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed interior lighting systems have been designed to meet the 2022 Denver Energy Code requirements in COMcheckWeb and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

Project Title: 24243 101 University Suite 400
Data filename: Report date: 01/02/25
Page 1 of 7



COMcheck Software Version COMcheckWeb
Inspection Checklist

Energy Code: 2022 Denver Energy Code

Requirements: 100.0% were addressed directly in the COMcheck software
Text in the "Comments/Assumptions" column is provided by the user in the COMcheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exception is being claimed. Where compliance is itemized in a separate table, a reference to that table is provided.

Section # & Req.ID	Plan Review	Complies?	Comments/Assumptions
C103.2 [PR4]¹	Plans, specifications, and/or calculations provide all information with which compliance can be determined for the interior lighting and electrical systems and equipment and document where exceptions to the standard are claimed. Information provided should include interior lighting power calculations, wattage of bulbs and ballasts, transformers and control devices.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: E.3

Additional Comments/Assumptions:

Project Title: 24243 101 University Suite 400
Data filename: Report date: 01/02/25
Page 3 of 7

Project Title: 24243 101 University Suite 400
Data filename: Report date: 01/02/25
Page 2 of 7

Section # & Req.ID	Rough-In Electrical Inspection	Complies?	Comments/Assumptions
C405.2.3.1 [EL22]¹	Spaces required to have light-reduction controls have a manual control that allows the occupant to reduce the connected lighting load in a reasonably uniform illumination pattern >= 50 percent.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: E.7
C405.2.1.1 [EL18]¹	Occupancy sensors installed in classrooms/lecture/training rooms, conference/meeting/multipurpose rooms, copy/print rooms, lounges/breakrooms, enclosed offices, open plan office areas, restrooms, storage rooms, locker rooms, corridors, warehouse storage areas, and other spaces <= 300 sqft that are enclosed by floor-to-ceiling height partitions. Reference section language C405.2.1.2 for control function in warehouses and section C405.2.1.3 for open plan office spaces.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: E.7
C405.2.1.2 [EL19]¹	Occupancy sensor control function in warehouses. In warehouses, the lighting in aiseways and open areas is controlled with occupancy sensors that automatically reduce lighting power by 50% or more within 20 minutes of when the areas are unoccupied. The occupant sensors control lighting in each aisleway independently and do not control lighting beyond the aisleway being controlled by the sensor. Lights not turned off by occupant sensors is done so by time-switch.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement does not apply.
C405.2.1.3 [EL20]¹	Occupant sensor control function in open plan office areas. Occupant sensor controls in open office spaces >= 300 sq.ft. have controls 1) configured so that general lighting can be controlled separately in control zones with floor areas <= 600 sq.ft. within the space, 2) general lighting in each zone permitted to turn on upon occupancy in control zone, 3) automatically turn off general lighting in all control zones within 20 minutes after all occupants have left the space, 4) are configured so that general lighting power in each control zone is reduced by >= 80% of the full zone general lighting power within 20 minutes of all occupants leaving that control zone.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: E.7
C405.2.2.1 [EL21]¹	Each area not served by occupancy sensors (per C405.2.1.1) have time-switch controls and functions detailed in sections C405.2.2.1.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: E.7

Project Title: 24243 101 University Suite 400
Data filename: Report date: 01/02/25
Page 4 of 7

Section # & Req.ID	Final Inspection	Complies?	Comments/Assumptions
C303.3, C408.2.5.2 [F117]¹	Furnished O&M instructions for systems and equipment to the building owner or designated representative.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
C408.1.1 [F157]¹	Building operations and maintenance documents will be provided to the owner. Documents will cover manufacturers' information, specifications, programming procedures and means of illustrating to owner how building, equipment and systems are intended to be installed, maintained, and operated.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
C408.2.5 [F116]¹	Furnished as-built drawings for electric power systems within 90 days of system acceptance.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
C408.3 [F133]¹	Lighting systems have been tested to ensure proper calibration, adjustment, programming, and operation.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Installed lighting 10 kW and area is 10,000 ft ² .

Additional Comments/Assumptions:

Project Title: 24243 101 University Suite 400
Data filename: Report date: 01/02/25
Page 7 of 7

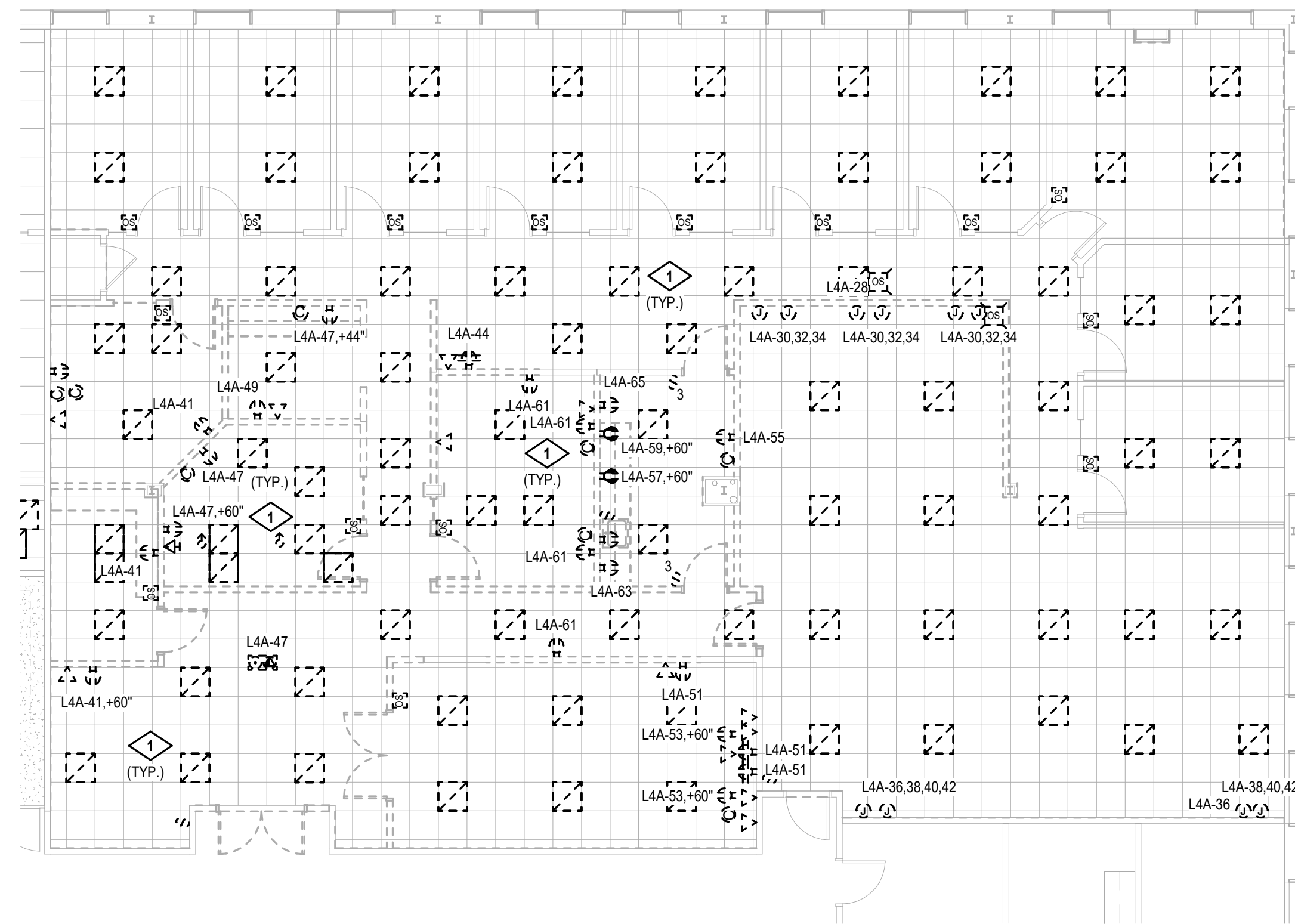
Section # & Req.ID	Rough-In Electrical Inspection	Complies?	Comments/Assumptions
C405.13 [EL34]²	New parking facilities are provided with EV charging infrastructure in accordance with 2022 Denver Energy Code Sections C405.13.1 through C405.13.6.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement does not apply.
C405.14 [EL35]²	All new buildings of Occupancy Group A, B, E, M, R1 and R2 contain a solar-ready zone on the roof/overhang on the building plans that meets the specifications of Appendix CB.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement does not apply.
C405.15.1 [EL36]²	Fossil fuel equipment and appliances are provided with a junction box located within the same space of the fossil fuel appliance or equipment connected to an electrical panel and meets the following: 1. The junction box, raceway, and bus bar in the electric panel and conductors serving the electric panel sized to accommodate electric equipment, 2. The panel shall have reserved physical space for a three-pole circuit breaker, 3. The junction box and electrical panel directory entry for the dedicated circuit breaker space shall have labels stating, "For future electric equipment".	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement does not apply.

Additional Comments/Assumptions:

Project Title: 24243 101 University Suite 400
Data filename: Report date: 01/02/25
Page 6 of 7

Section # & Req.ID	Rough-In Electrical Inspection	Complies?	Comments/Assumptions
C405.2.4.1, C405.2.4.2 [EL23]²	Daylight zones provided with individual controls that control the lights independent of general area lighting. See code section C405.2.3.2 Daylight-responsive controls for applicable spaces, C405.2.3.1 Daylight responsive control function and section C405.2.3.2 Sidelit zone.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement does not apply.
C405.2.5 [EL27]²	Additional interior lighting power allowed for special functions per the approved lighting plans and is automatically controlled and separated from general lighting.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: E.7
C405.7 [EL26]²	Low-voltage dry-type distribution electric transformers meet the minimum efficiency requirements of Table C405.6.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement does not apply.
C405.8 [EL27]²	Electric motors meet the minimum efficiency requirements of Tables C405.7(1) through C405.7(4). Efficiency verified through certification under an approved certification program or the equipment efficiency ratings shall be provided by motor manufacturer (where certification programs do not exist).	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement does not apply.
C405.9.1, C405.9.2 [EL28]²	Escalators and moving walks comply with ASME A17.1/CSA B44 and have automatic controls configured to reduce speed to the minimum permitted speed in accordance with ASME A17.1/CSA B44 or applicable local code when not conveying passengers.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement does not apply.
C405.10 [EL29]²	Total voltage drop across the combination of feeders and branch circuits <= 5%.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: E.1
C405.1.1 [EL30]²	100% of dwelling unit permanently installed lighting have lamp or light sources >= 65 lm/W.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement does not apply.
C405.11, C405.11.1 [EL31]²	50% of 15/20 amp receptacles, installed in enclosed offices, conference rooms, copy rooms, break rooms, classrooms and workstations and > 25% of branch circuit feeders for modular furniture will have automatic receptacle control in accordance with C405.11.1.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. Location on plans/spec: E.6
C405.4 [EL33]²	Non-LED lighting for plant growth and maintenance with replaceable lamps shall be installed with electronic ballasts and > 95 % of the lighting wattage provided by lighting having a photosynthetic photon efficacy > 1.6 μmol/J (luminaires), or 1.9 μmol/J (lamps).	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Exception: Requirement does not apply.

Project Title: 24243 101 University Suite 400
Data filename: Report date: 01/02/25
Page 5 of 7



ELECTRICAL DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES:

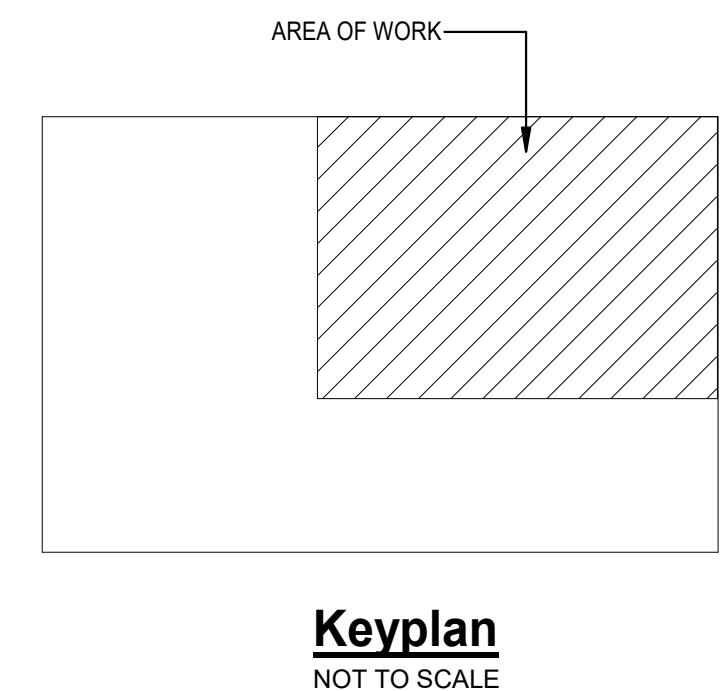
1. DEMOLITION PLANS ARE FOR REFERENCE AND MAY NOT SHOW ALL ELECTRICAL DEVICES THAT NEED TO BE DEMOLISHED DUE TO FIELD CONDITION DURING THE ELECTRICAL SURVEY. FIELD VERIFY PRIOR TO PRICING. REFER TO ARCHITECTURAL AND MECHANICAL PLANS FOR ADDITIONAL INFORMATION PRIOR TO PRICING.
2. EXISTING DEVICES, CIRCUITS, AND CONDUITS SHOWN TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY BACK TO NEAREST DEVICE TO REMAIN. MAINTAIN CIRCUIT CONTINUITY OF ALL EXISTING DEVICES TO REMAIN.
3. DEMOLITION OR ABANDONING ANY ELECTRICAL AND COMMUNICATIONS CONDUIT, WIRING, CABLING, OR DEVICE MEANS TO REMOVE IN ITS ENTIRETY. REMOVE UNUSED CONDUITS FROM CEILING SPACES IN AREAS OF WORK. ABANDONED OUTLET JUNCTION BOXES ARE TO BE REMOVED AND COVERED WITH NEW GYPSUM BOARD. ABANDONED POKE THRU OUTLETS SHALL HAVE COVER PLATES AND BE FILLED WITH FIRE RATED FOAM SEALANT TO MAINTAIN FIRE RATING OF FLOOR. RETURN UNUSED ELECTRICAL EQUIPMENT AND LIGHT FIXTURES TO BUILDING MANAGEMENT FOR STORAGE AND/OR REMOVAL FROM SITE AS DIRECTED BY OWNERS.
4. REFER TO MECHANICAL AND PLUMBING DRAWINGS FOR ANY EQUIPMENT THAT IS TO BE DEMOLISHED DURING THIS SCOPE OF WORK. COORDINATE WITH MECHANICAL CONTRACTOR FOR DEMOLITION RESPONSIBILITIES.
5. COORDINATE WITH BUILDING MANAGEMENT DISPOSAL OF EXISTING EQUIPMENT TO BE REMOVED AND IF ANY EQUIPMENT IS TO BE RETURNED TO BUILDING STOCK PRIOR TO PRICING.
6. TURN OFF ALL UNUSED BREAKERS AND INDICATE "SPARE" ON UPDATED PANEL INDEXES.
7. LUMINAIRES SHOWN DASHED SHALL BE RELOCATED.
8. POKE THROUGH CORE LOCATIONS ARE TO BE CAPPED FROM FLOOR BELOW AND FILLED WITH CONCRETE.

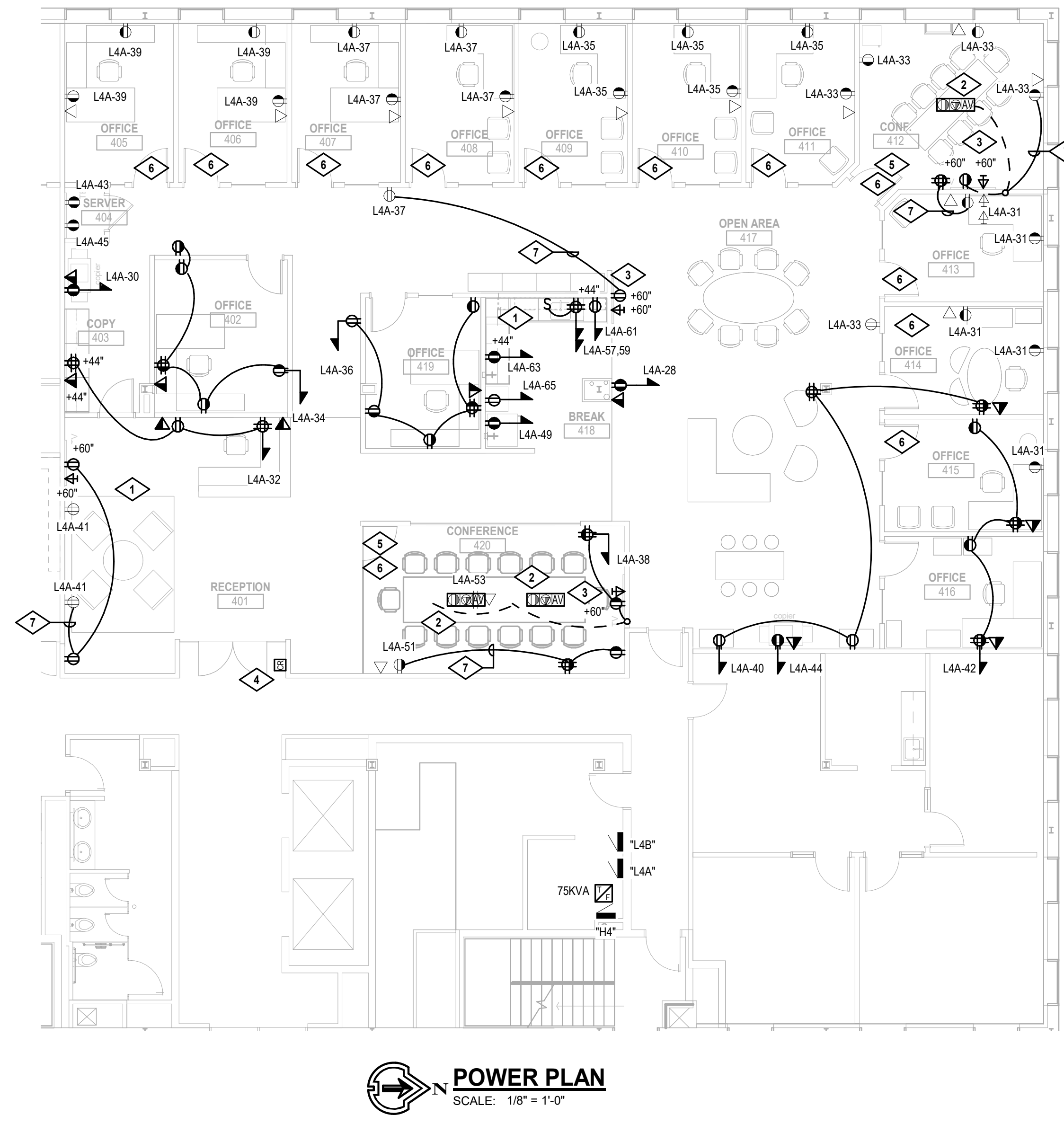
DRAWING NOTES:

1. PROTECT EXISTING LUMINAIRES DURING DEMOLITION FOR RELOCATION. REFER TO LIGHTING PLAN FOR NEW LOCATIONS.

LEWIS RINGELMAN, P.C.

101 UNIVERSITY
FOURTH FLOOR - SUITE 400
101 UNIVERSITY BOULEVARD
DENVER, COLORADO 80206





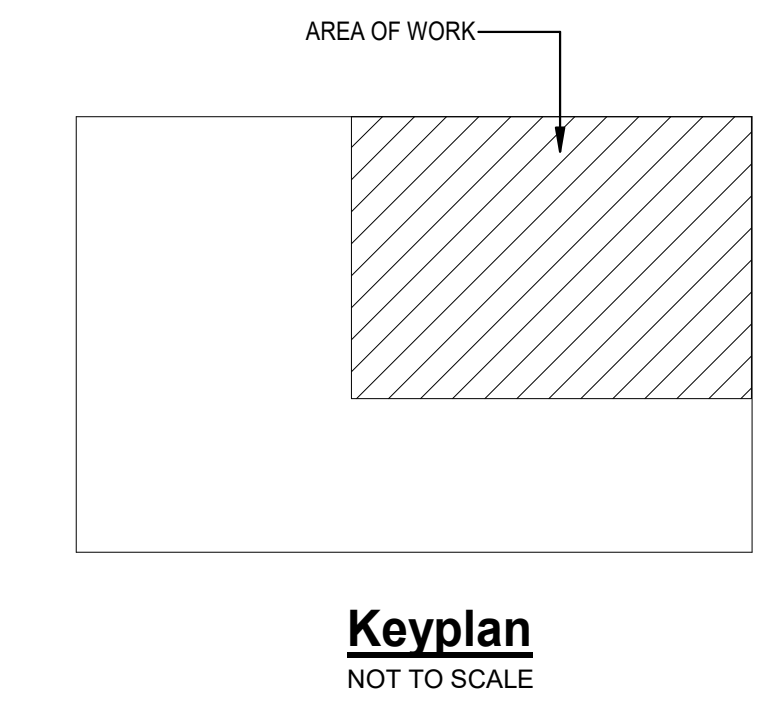
POWER PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES:

- ALL COMPUTER AND TELEPHONE CABLING SHALL BE PULLED BY TENANTS REPRESENTATIVE.
- CIRCUIT NUMBERS SHOWN ARE FOR REFERENCE ONLY AND SHOW DESIGN INTENT. ACTUAL AVAILABLE CIRCUIT NUMBERS MAY DIFFER. ELECTRICAL CONTRACTOR SHALL FIELD VERIFY.
- ELECTRICAL CONTRACTOR TO LABEL ALL SWITCHES AND RECEPTACLES, NEW AND EXISTING WITH CIRCUIT NUMBERS AND PANEL NAME, CIRCUIT NUMBERS AND PANEL NAMES SHALL BE CLEAR AND LEGIBLE ON COVER PLATES. ELECTRICAL CONTRACTOR SHALL COORDINATE COLOR OF COVER PLATES WITH BUILDING MANAGEMENT.
- ENSURE CIRCUIT CONTINUITY TO RECEPTACLES THAT ARE EXISTING TO REMAIN AND MAY BE AFFECTED BY DEMOLITION / REMODEL WORK.
- FIRE ALARM IS UNDER SEPARATE DESIGN / BUILD CONTRACT. COORDINATE ALL FIRE ALARM REQUIREMENTS WITH FIRE ALARM CONTRACTOR.
- REFER TO MECHANICAL DRAWINGS FOR ANY ADDITIONAL INFORMATION AND ELECTRICAL REQUIREMENTS REGARDING ELECTRICAL EQUIPMENT.
- PROVIDE TYPEWRITTEN UPDATED PANEL DOOR DIRECTORIES FOR ALL AFFECTED PANELS REFLECTING ALL CIRCUITS WITH THEIR ACCURATE DESTINATIONS PER N.E.C. 408.4. TURN OFF ALL UNUSED BREAKERS AND INDICATE "SPARE" IN PANEL INDEX.
- PROVIDE STICKERS ON ALL RECEPTACLE COVERPLATES INDICATING PANEL AND CIRCUIT NUMBER INFORMATION IN TENANT SUITE.
- ALL NEW DEVICES AND COVERPLATES ARE TO BE WHITE. ALL EXISTING TO REMAIN DEVICES AND COVERPLATES THAT ARE NOT WHITE ARE TO BE REPLACED WITH NEW BUILDING STANDARD WHITE DEVICES AND COVERPLATES.
- PRIOR TO COMMENCING WORK, ELECTRICAL CONTRACTOR SHALL VERIFY / IDENTIFY WHICH BREAKERS ARE AVAILABLE FOR THIS BUILD-OUT. CONTACT ELECTRICAL ENGINEER IF THERE IS AN INSUFFICIENT NUMBER OF AVAILABLE BREAKERS.

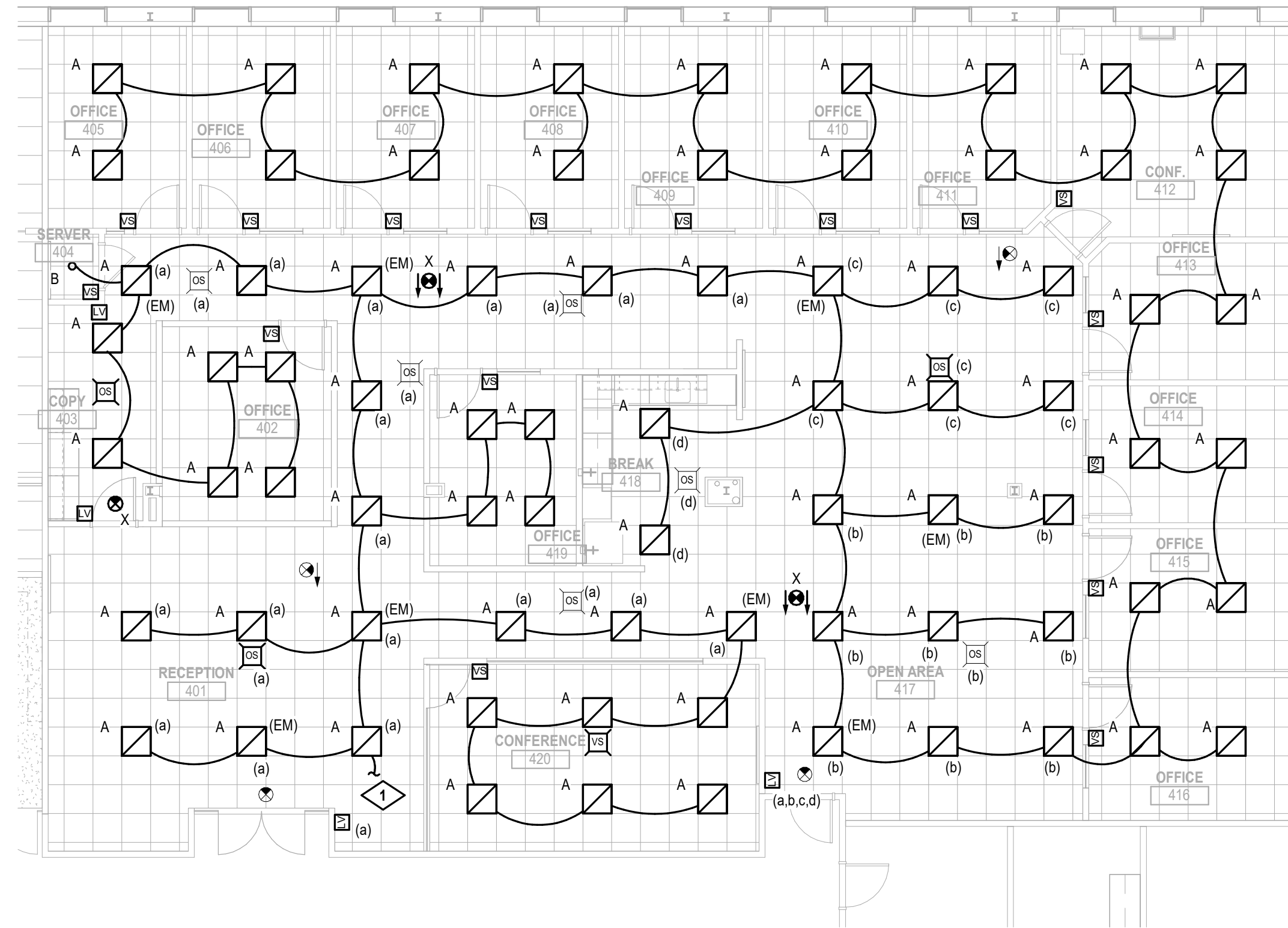
DRAWING NOTES:

- ENSURE ALL RECEPTACLES WITHIN FOOD PREP AREA ARE GFI PROTECTED AND READILY ACCESSIBLE PER NEC 210.8. IF RECEPTACLE IS NOT READILY ACCESSIBLE PROVIDE FACELESS GFI RESET IN A READILY ACCESSIBLE LOCATION. COORDINATE LOCATION OF RESETS WITH TENANT AND ARCHITECT PRIOR TO ROUGH-IN. PROVIDE LABEL ON EACH RESET INDICATING ASSOCIATED CIRCUIT / APPLIANCE.
- PROVIDE AND INSTALL FIRE RATED FLUSH FLOOR POKE-THRU OUTLET, HUBBELL SYSTEM-ONE FRPT SERIES, #S1PTAVFIT (BL), ASSEMBLED ONE-PIECE UNIT OR APPROVED EQUIVALENT. ELECTRICAL CONTRACTOR SHALL VERIFY SUB-PLATE SELECTION WITH CABLING CONTRACTOR PRIOR TO ORDER. UNIT CONTAINS TWO (2) PRE-WIRED, NEMA 5-20R, 20 AMP RECEPTACLES WITH 2-#12 COPPER CONDUCTORS FOR LINE AND NEUTRAL AS WELL AS 1-#12 COPPER GROUND CONDUCTOR. UNIT AVAILABLE WITH 3/4" EMT STUB FOR POWER CONNECTION. FOR TELEPHONE/DATA CABLING, PROVIDE (1) 1-1/2" EMPTY CONDUITS FROM UNITS ONE (1) PROVIDED, 1-1/2" EMT'S STUBBED UP INTO ACCESSIBLE CEILING SPACE. PROVIDE PULL LINE IN ENTIRE LENGTHS OF CONDUITS AND PLASTIC BUSHINGS ON CONDUIT ENDS. TELEPHONE/DATA CABLING AND DEVICES SHALL BE PROVIDED BY OWNER'S COMMUNICATIONS SYSTEM VENDOR UNDER SEPARATE CONTRACT. ELECTRICAL CONTRACTOR SHALL PROVIDE X-RAYING OF FLOOR TO VERIFY ANY EXISTING OBSTRUCTIONS PRIOR TO CORE DRILLING. COORDINATE EXACT LOCATIONS, CONDUIT ROUTING, AND REQUIREMENTS WITH ARCHITECTURAL PLANS, BUILDING MANAGEMENT, COMMUNICATIONS VENDOR PRIOR TO ROUGH-IN AND ORDERING OF EQUIPMENT.
- COORDINATE EXACT LOCATION AND REQUIREMENTS OF FLAT PANEL TELEVISION WITH ARCHITECT AND TENANT PRIOR TO ROUGH-IN. PROVIDE RECESSED STYLE DUPLEX AND TELEDATA CONNECTION.
- PROVIDE JUNCTION BOX MOUNTED +48" FOR TENANT PROVIDED CARD READER SYSTEM. ALSO PROVIDE 1" EMPTY CONDUIT TO 6" ABOVE ACCESSIBLE CEILING WITH PULL LINE AND PLASTIC BUSHING ON CONDUIT END. SECURITY CABLING AND DEVICES TO BE PROVIDED BY TENANT'S SECURITY SYSTEM VENDOR UNDER SEPARATE CONTRACT. COORDINATE EXACT LOCATIONS AND REQUIREMENTS WITH ARCHITECTURAL PLANS, TENANT'S REPRESENTATIVE, AND SECURITY SYSTEM SUPPLIER PRIOR TO ROUGH-INS.
- IN MEETING ROOMS PER NEC 210.65(B), ACCORDING TO THE SPACING AND SQUARE FOOTAGE REQUIREMENTS, THE NUMBER OF RECEPTACLES REQUIRED ARE INDICATED BELOW. RECEPTACLES CAN BE LOCATED AS DESIRED BY THE TENANT.
CONFERENCE 420: (6) DUPLEX WALL RECEPCTS; (1) DUPLEX FLOOR RECEPCTS
CONFERENCE 412: (5) DUPLEX WALL RECEPCTS; (1) DUPLEX FLOOR RECEPCTS
- EXISTING DEVICE TO BE REPLACED WITH NEW HALF CONTROLLED DEVICE. CONNECT SWITCHED LEG TO LOCAL OCCUPANCY SENSOR CONTROLS PER 2021 IECC. MAINTAIN EXISTING CIRCUIT CONTINUITY.
- CONNECT EXISTING DEVICE(S) TO NEW CIRCUIT AS SHOWN.



LEWIS RINGELMAN, P.C.
101 UNIVERSITY

FOURTH FLOOR - SUITE 400
101 UNIVERSITY BOULEVARD
DENVER, COLORADO 80206



LIGHTING PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES:

- ELECTRICAL CONTRACTOR SHALL REMOVE ALL SPARE AND UN-USED CIRCUITS FOUND DURING CONSTRUCTION. PROVIDE UPDATED TYPED PANEL SCHEDULES.
- ENSURE CIRCUIT CONTINUITY TO ALL LUMINAIRES THAT ARE EXISTING TO REMAIN AND MAY BE AFFECTED BY DEMOLITION / REMODEL.
- VERIFY THAT ALL EXISTING TO REMAIN OR TO BE REUSED LIGHT FIXTURES, LAMPS, BALLASTS, EXIT LIGHTS, AND BATTERY BACK-UPS, ETC ARE OPERATIONAL. REPAIR / REPLACE AS REQUIRED. LAMP TEMPERATURES SHALL BE 3500K. CLEAN LIGHT LENSES THROUGHOUT.
- BUILDING STANDARD COVERPLATES AND DEVICES IS WHITE. VERIFY WITH TENANT AND BUILDING MANAGEMENT IF NEW DEVICES AND COVERPLATES ARE TO BE WHITE OR SHALL MATCH EXISTING IN TENANT'S SUITE.
- VERIFY THAT ALL EXIT SIGNS COMPLY WITH BUILDING STANDARD WHITE SIGNS. INSTALL NEW AS NEEDED. CLEAN / REPAIR EXISTING SIGNS FOR LIKE-NEW APPEARANCE.
- ELECTRICAL CONTRACTOR TO LABEL ALL SWITCHES AND RECEPTACLES, NEW AND EXISTING WITH CIRCUIT NUMBERS AND PANEL NAME. CIRCUIT NUMBERS AND PANEL NAMES SHALL BE CLEAR AND LEGIBLE ON COVER PLATES. ELECTRICAL CONTRACTOR SHALL COORDINATE COLOR OF COVER PLATES WITH BUILDING MANAGEMENT.
- PROVIDE TYPEWRITTEN UPDATED PANEL DOOR DIRECTORIES FOR ALL AFFECTED PANELS REFLECTING ALL CIRCUITS WITH THEIR ACCURATE DESTINATIONS PER N.E.C. 408.4. TURN OFF ALL UNUSED BREAKERS AND INDICATE "SPARE" IN PANEL INDEX.
- ALL SWITCHING SHOWN SHALL BE 44" A.F.F. TO CENTERLINE OF COVERPLATE. MULTIPLE SWITCHES SHOWN AT THE SAME LOCATION SHALL BE GANGED AND FINISHED WITH A ONE-PIECE COVERPLATE. ALL SWITCHES TO HAVE WHITE COVERPLATES.
- FINAL LUMINAIRE COUNT IS THE RESPONSIBILITY OF THE CONTRACTOR.
- CIRCUIT NUMBERS INDICATED ON PLAN ARE FOR REFERENCE ONLY. ACTUAL AVAILABLE CIRCUITRY IN THIS AREA SHALL BE FIELD VERIFIED.
- CONNECT ALL LUMINAIRES LABELED WITH "(EM)" TO CONTROLLED LEG OF LOCAL LIGHTING CIRCUIT SERVING THIS AREA. PROVIDE INTEGRAL NINETY MINUTE BATTERY. PROVIDE CONSTANT HOT WIRE FOR CONNECTION TO BATTERY. BATTERY SHALL ALLOW FOR CONTROLLABILITY OF LUMINAIRE. FIXTURES SHALL BE CONTROLLED DURING NORMAL CONDITIONS AND RETURN TO FULL OUTPUT UPON LOSS OF NORMAL POWER.

DRAWING NOTES:

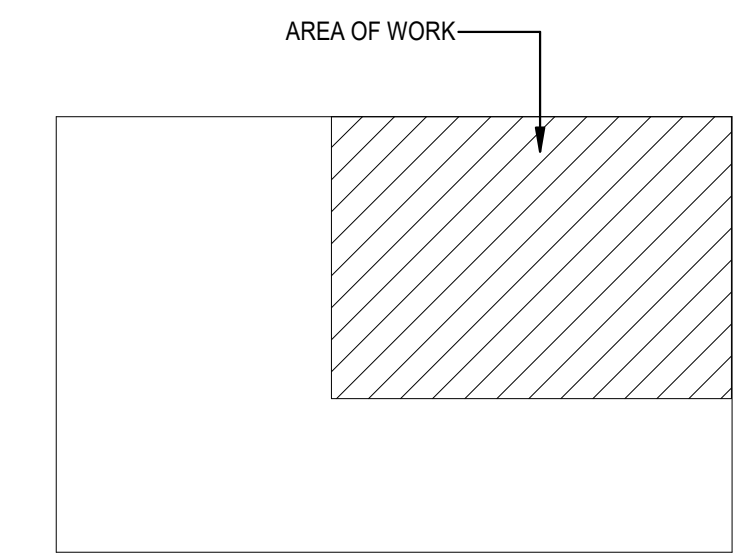
- CONNECT TO EXISTING 277V LIGHTING CIRCUIT CURRENTLY SERVING THIS AREA.

LIGHTING CONTROLS SPECIFICATIONS

- NOTE: COORDINATE ALL DEVICE SPECIFICATIONS AND DEVICE LOCATIONS WITH BUILDING MANAGEMENT AND CONTROLS REPRESENTATIVE PRIOR TO PRICING. LOCATIONS SHOWN ARE DIAGRAMMATIC. COORDINATE FINAL LOCATIONS OF OPEN AREA LIGHTING CONTROLS WITH ARCHITECT AND TENANT PRIOR TO ROUGH-IN.
- BUILDING STANDARD WALL MOUNTED DIMMABLE VACANCY SENSOR.
 - BUILDING STANDARD CEILING MOUNTED VACANCY SENSOR WITH LOW VOLTAGE DIMMABLE OVERRIDE SWITCH.
 - BUILDING STANDARD CEILING MOUNTED OCCUPANCY SENSOR WITH LOW VOLTAGE DIMMABLE OVERRIDE SWITCH.
 - BUILDING STANDARD CEILING MOUNTED DAYLIGHT SENSOR WITH LOW VOLTAGE DIMMABLE OVERRIDE SWITCH.

LIGHTING FIXTURE SCHEDULE												
LUMINAIRE								LAMPS				
ID	MANUFACTURER	MODEL	CATALOG NUMBER	DESCRIPTION	VOLTAGE	DIMMING	MOUNTING	LAMP QTY	TYPE	WATTS	LUMENS	COLOR TEMP/CRI
A	DAY-BRITE	FLUXPANEL	2FPX-38L-835-2-DS-UNV-DIM (BSL10LST FOR BATTERY PACK)	2X2 FLAT PANEL LED "BUILDING STANDARD"	UNV	0-10N	RECESSED IN GRID CEILING	1	LED	29.8	3800	3500/80
B	ALPHABET	NU4	NU4RD SW 10LM 35K 80 50D NL WH UNV	4" DIAMETER LED DOWNLIGHT	UNV	0-10V	RECESSED IN DRYWALL CEILING	1	LED	9	990	3500/80
X	TBD	TBD	TBD	THERMOPLASTIC LED EXIT SIGN, WHITE WITH GREEN LETTERING "MATCH EXISTING BUILDING STANDARD"	UNV	NONE	UNIVERSAL	1	LED	3	N/A	N/A

NOTES:
 1 WHERE APPLICABLE, VERIFY ALL FINISHES WITH ARCHITECT PRIOR TO ORDERING.
 2 VERIFY ALL SUSPENSION LENGTHS FOR PENDANT FIXTURES PRIOR TO ORDERING.
 3 NO SUBSTITUTIONS ACCEPTED DURING BID PROCESS UNLESS DIRECTED BY ARCHITECT / ENGINEER. PROVIDE PRICING FOR FIXTURES AS LISTED ON THIS SCHEDULE.
 4 FOR LUMINAIRES THAT REQUIRE MULTIPLE COMPONENTS (TRACK LIGHTING, TAPE LIGHT, ETC), ELECTRICAL CONTRACTOR SHALL COORDINATE WITH THE REPRESENTATIVE / MANUFACTURER TO ENSURE ALL COMPONENTS NEEDED ARE ORDERED.
 5 REFER TO ARCHITECTURAL DETAILS FOR ANY SPECIAL MOUNTING REQUIREMENTS PRIOR TO ORDERING.



Keyplan
NOT TO SCALE

LEWIS RINGELMAN, P.C.

101 UNIVERSITY
FOURTH FLOOR - SUITE 400
101 UNIVERSITY BOULEVARD
DENVER, COLORADO 80206