



ARTHREX WEST RENOVATION

25 INVERNESS DRIVE EAST ENGLEWOOD, CO 80112

ABBREVIATIONS:

ABV	ABOVE	EP	ELECTRIC PANELBOARD	LAB	LABORATORY	REG	REGISTER
AFF	ABOVE FINISHED FLOOR	EW	ELECTRIC WATER COOLER	LB	LAG BOLT	REIN	REINFORCE (D), (ING)
ASC	ABOVE SUSPENDED CEILING	EL	ELEVATION	LAM	LAMINATE (D)	RCP	REINFORCED CONCRETE PIPE
ACC	ACCESS	ELEV	ELEVATOR	JH	LEFT HAND	RESIL	RESILIENT
AP	ACCESS PANEL	EMER	EMERGENCY	LT	LENGTH	RET	RETURN
ACT	ACOUSTICAL PANEL	EQ	EQUAL	LW	LIGHTWEIGHT	RA	RETURN AIR
ADH	ADHESIVE	EST	ESTIMATE	LWC	LIGHTWEIGHT CONCRETE	REV	REVIEW (S), REVISED
ADJ	ADJACENT	EXCA	EXCAVATE			RH	RIGHT HAND
ADJT	ADJUSTABLE	EXH	EXHAUST	LMS	LIMESTONE	ROW	RIGHT OF WAY
AGG	AGGREGATE	EXTG	EXISTING	LTL	LINTEL	R	RISER
A/C	AIR CONDITIONING	EB	EXPANSION BOLT	LL	LIVELOAD	RD	ROOF DRAIN
ALT	ALTERNATE	EXP	EXPOSED	LVR	LOUVER	RF	ROOFING
ALUM	ALUMINUM	EXT	EXTERIOR	LPT	LOW POINT	RM	ROOM
AB	ANCHOR BOLT	EKS	EXTRA STRONG	MH	MANHOLE	RSC	ROUGH SAWN CEDAR
ANOD	ANODIZED	FB	FACE BRICK	MFR	MANUFACTURER	RLK	ROWLOCK
APX	APPROXIMATE	FOC	FACE OF CONCRETE	MAS	MASONRY	SFGL	SAFETY GLASS
AD	AREA DRAIN	FOF	FACE OF FINISH	MO	MASONRY OPENING	SCH	SCHEDULE
ASPH	ASPHALT	FOM	FACE OF FINISH	MTL	MATERIAL (S)	SCN	SCREEN
AT	ASPHALT TILE	FOS	FACE OF MASONRY	MAX	MAZIMUM	STG	SEATING
AUTO	AUTOMATIC	FF	FACE OF STUDS	MECH	MECHANIC (AL)	SECT	SECTION
BSMT	BASEMENT	FAS	FACTORY FINISH	MC	MEDICINE CABINET	SSD	SEE STRUCTURAL DRAWINGS
BRG	BEARING	FBD	FIBERBOARD	MED	MEDIUM	SHT	SHEET
BPL	BEARING PLATE	FGB	FIBERGLASS	MBR	MEMBER	SG	SHEET GLASS
BM	BENCH MARK	FIN	FINISH (ED)	MMB	MEMBRANE	SHTG	SHEETING
BET	BETWEEN	FEE	FINISHED FLOOR	MET	METAL	SH	SHELF, SHELVING
BVL	BEVELED	FFL	FINISHED FLOOR LINE	M	METER (S)	SIM	SIMILAR
BIT	BITUMINOUS	FA	FIRE ALARM	MM	MILLIMETER (S)	SLDC	SOLDIER COURSE
BLK	BLOCK	FBRK	FIRE BRICK	MIN	MINIMUM	SC	SOLID CORE
BLKG	BLOCKING	FE	FIRE EXTINGUISHER	MIR	MIRROR	SP	SOUNDPROOF
BD	BOARD	FEC	FIRE EXTINGUISHER CABINET	MISC	MISCELLANEOUS	S	SOUTH
BS	BOTH SIDES	MLD	MOLDING, MOLDING	MOD	MODULAR	SPK	SPEAKER
BW	BOTH WAYS	MR	MOP RECEPTOR	MOLDING, MOLDING		SPL	SPECIAL
BOT	BOTTOM	MT	MOUNT (ED), (ING)	MOV	MOVABLE	SPEC	SPECIFICATION (S)
BRK	BRICK	MOV	MOVABLE	MULL	MULLION	SG	SQUARE
BRZ	BRONZE	NAT	NATURAL	FLR	FLOOR (ING)	SS	STAINLESS STEEL
BLDG	BUILDING	NRC	NOISE REDUCTION COEFFICIENT	FLD	FLOOR CLEANOUT	STD	STANDARD
BUR	BUILT UP ROOFING	NOM	NOMINAL	FLO	FLOOR DRAIN	STL	STATION
CAB	CABINET	NMT	NONMETALIC	FPL	FLOOR PLATE	STR	STRUCTURAL
CPT	CARPET (ED)	NIC	NOT IN CONTRACT	FLUR	FLUORESCENT	SCT	STRUCTURAL CLAY TILE
CSMT	CASEMENT	NTS	NOT TO SCALE	FTG	FOOTING	SUSP	SUSPENDED
CI	CAST IRON	OC	ON CENTER (S)	FND	FOUNDATION	SYS	SYSTEM
CST	CAST STONE	OPG	OPENING	FR	FRAME (D), (ING)	TEL	TELEPHONE
CIPC	CAST-IN-PLACE CONCRETE	OPP	OPPOSITE	FRA	FRESH AIR	TV	TELEVISION
CB	CATCH BASIN	OPH	OPPOSITE HAND	FS	FULL SIZE	THK	THICK (NESS)
CLG	CEILING	OPS	OPPOSITE SURFACE	FBO	FURNISHED BY OTHERS	THR	THRESHOLD
CHT	CEILING HEIGHT	OD	OUTSIDE DIAMETER			TBD	TO BE DETERMINED
CEM	CEMENT	OA	OVERALL			TPD	TOILET PAPER DISPENSER
CM	CENTIMETER (S)	OH	OVERHEAD				
CR	CERAMIC	PNT	PAINT (ED)			TPTN	TOILET PARTITION
CMT	CERAMIC MOSAIC (TILE)	PNL	PANEL			TOL	TOLERANCE
CHAM	CHAMFER	PB	PANIC BAR			T&G	TONGUE & GROOVE
CIR	CIRCLE	PTD	PAPER TOWEL DISPENSER			TC	TOP OF CURB
CLR	CLEAR (ANCE)	TR	PAPER TOWEL			TG	TOP OF GRADE
COL	COLUMN	TP	TOP OF PAVEMENT			TS	TOP OF SLAB
COMB	COMBINATION	TS	TOP OF STEEL			TW	TOP OF WALL
CONC	CONCRETE	TB	TOWEL BAR			T	TREAD
CMU	CONCRETE MASONRY UNIT	TYP	TYPICAL			UNFIN	UNFINISHED
CONST	CONSTRUCTION	UR	URINAL			VB	VAPOR BARRIER
CONT	CONTINUOUS OR CONTINUE	VAR	VARNISH			VNR	VENEER
CONTR	CONTRACT (OR)	VIF	VERIFY IN FIELD			VERT	VERTICAL
CLL	CONTRACT LIMIT LINE	VG	VERTICAL GRAIN			VIN	VINYL
CJ	CONTROL JOINT	VN	VINYL BASE			VT	VINYL TILE
CG	CORNER GUARD	WSC	WAINSCOT			WH	WALL HUNG WATER HEATER
CORR	CORRUGATED	WTW	WALL TO WALL			WC	WATER CLOSET
CFL	COUNTER	WR	WATER REPELLENT			WP	WATERPROOFING
CRS	COURSE (S)	WWF	WELDED WIRE FABRIC			WS	WATERSTOP
CF	CUBIC FOOT					W	WEST
CY	CUBIC YARD					W	WIDTH, WIDE
DP	DAMP/PROOFING					WDW	WINDOW
D	DEAD LOAD					WG	WIRE GLASS
DEMO	DEMOLITION					WM	WIRE MESH
DFE	DESIGN FLOOD ELEVATION					WO	WITHOUT
DTL	DETAIL					WD	WOOD
DIAG	DIAGONAL					WB	WOOD BASE
DIAM	DIAMETER					WPT	WORKING POINT
DIM	DIMENSION					WI	WROUGHT IRON
DIV	DIVISION						
DR	DOOR						
DH	DOUBLE HUNG						
DA	DOUBLE/ECTING						
DS	DOWNSPOUT						
D	DRAIN						
DWR	DRAWER						
DF	DRINKING FOUNTAIN						
DW	DUMBWATER						
EA	EACH						
EF	EACH FACE						
E	EAST						
ELEC	ELECTRIC (AL)						

GENERAL NOTES:

- IT IS THE INTENT OF THESE CONTRACT DOCUMENTS TO DEFINE AND DESCRIBE A COMPLETE FINISHED AND FULLY FUNCTIONING FACILITY. ANY PRODUCT, MATERIAL, SYSTEM, EQUIPMENT, OR ASSEMBLY WHICH NORMALLY WOULD BE REQUIRED TO MEET THIS REQUIREMENT SHALL BE PROVIDED AS IF SPECIFICALLY NOTED.
- WHEN WORK IS NOT SPECIFICALLY NOTED BUT IS REQUIRED TO COMPLETE THE PROJECT, IT SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- THE DOCUMENTS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. ADDITIONAL DATA SHALL BE OBTAINED FROM THE ARCHITECT THROUGH WRITTEN CLARIFICATION ONLY. VERIFY ALL EXISTING CONDITIONS, ELEVATIONS, AND DIMENSIONS BEFORE PROCEEDING WITH ANY PORTION OF ANY WORK. IMMEDIATELY UPON DISCOVERY OF THE NEED FOR ADDITIONAL INFORMATION, CLARIFICATION, OR INTERPRETATION OF THE CONTRACT DOCUMENTS, CONTRACTOR SHALL REQUEST CLARIFICATION FROM ARCHITECT. ON ARCHITECT APPROVED FORM. CONTRACTOR IS NOT RELEASED FROM LIABILITY OR RESPONSIBILITY FOR FAILURE TO MEET REQUIREMENTS OF THE CONTRACT DOCUMENTS, WHETHER FOLLOWING THE SPECIFICATIONS AND DRAWINGS OR NOT.
- ALL WORK AS OUTLINED IN THESE DOCUMENTS SHALL CONFORM TO THE APPLICABLE CODES AND ORDINANCES IN EFFECT AT THE TIME THESE DOCUMENTS WERE PREPARED. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENTS SHALL GOVERN.
- CONTRACTOR SHALL VISIT THE JOB SITE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS WHICH MAY AFFECT THE BID.
- CONTRACTOR SHALL BE EXPERIENCED IN THIS TYPE OF WORK. NO ALLOWANCES WILL BE MADE FOR LACK OF EXPERIENCE.
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT THE CONSTRUCTION.
- ANY EXISTING UTILITIES TO BE ABANDONED SHALL BE PROPERLY DISCONNECTED, PLUGGED, OR CAPPED, AS REQUIRED BY CODE.
- DAMAGED OR DISRUPTED EXISTING CONDITIONS INCLUDING BUT NOT LIMITED TO LANDSCAPING, LIGHTING, IRRIGATION, PEDESTRIAN AND VEHICLE ACCESS SHALL BE REPLACED AT THE END OF CONSTRUCTION TO THE SAME STANDARDS OF QUALITY AS EXISTED PRIOR TO CONSTRUCTION.
- DISRUPTED ELECTRICAL AND WATER LINES SHALL BE RE-ROUTED DURING CONSTRUCTION AND ARE TO REMAIN IN CONTINUOUS SERVICE UNLESS OTHERWISE INDICATED OR INSTRUCTED.
- NO CHANGES, MODIFICATIONS OR DEVIATIONS SHALL BE MADE FROM THE DRAWINGS OR SPECIFICATIONS WITHOUT FIRST SECURING WRITTEN DIRECTION FROM THE ARCHITECT.
- WHERE LACK OF INFORMATION OR DISCREPANCY EXISTS IN THE DRAWINGS OR SPECIFICATIONS, REQUEST WRITTEN INTERPRETATION FROM THE ARCHITECT BEFORE PROCEEDING.
- UNLESS OTHERWISE NOTED, ELECTRICAL CONDUITS, PLUMBING LINES, ETC SHALL BE RUN CONCEALED AND FRAMING SHALL BE CORRECTLY SIZED TO ACCOMPLISH THIS WITHOUT CREATING VARIATIONS IN THE WALL PLANE.
- PROVIDE ADEQUATE CONCEALED BLOCKING AND ANCHORING FOR ALL CEILING AND WALL MOUNTED EQUIPMENT, HARDWARE, AND ACCESSORIES.
- WHEN A PRODUCT, SYSTEM OR ASSEMBLY IS CALLED FOR, ALL NECESSARY PARTS AND MATERIALS REQUIRED FOR A COMPLETE AND FULLY OPERATIONAL SYSTEM SHALL BE PROVIDED AND INSTALLED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.
- PRIOR TO PROCEEDING WITH WORK, CONTRACTOR SHALL COORDINATE WITH EACH TRADE THE LOCATIONS OF SLEEVES OR ACCESSORIES INVOLVING OTHER TRADES.
- CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FURNISHED UNDER THIS CONTRACT FOR A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE OF WORK. ANY DEFECTS DEVELOPING WITHIN THIS PERIOD TRACEABLE TO MATERIALS OR WORKMANSHIP PROVIDED OR PERFORMED BY THE CONTRACTOR, SHALL BE MADE GOOD AT THE EXPENSE OF THE CONTRACTOR. THE CONTRACTOR SHALL ACCEPT AND FULLY UNDERSTAND THIS PROVISION PRIOR TO THE CONTRACT BEING AWARDED. NO CLAIM FOR EXTRA COMPENSATION WILL BE ALLOWED FOR CORRECTION OF FAULTY WORK OR DEFECTIVE MATERIALS. AT ANY TIME DURING THE CONSTRUCTION PERIOD, OWNER'S REPRESENTATIVES AND THE ENGINEER RETAIN THE RIGHT TO REQUIRE THE CONTRACTOR TO REMOVE AND REINSTALL ANY EQUIPMENT OR MATERIALS NOT FOLLOWING THE STANDARDS AS PRESENTED HEREIN OR ON THE DRAWINGS AND AT NO COST TO THE THE OWNER. MATERIALS AND SYSTEMS WITH LONGER MANUFACTURER OR INSTALLER WARRANTIES (I.E. ROOFING) SHALL CARRY THE FULL MANUFACTURER'S WARRANTY. INSTALLER'S WARRANTY FOR ROOFING, WATERPROOFING, AND BUILDING ENVELOPE (AIR AND MOISTURE BARRIERS) SHALL BE A MINIMUM OF 2 YEARS. DATE OF REFERENCE SHALL BE SUBSTANTIAL COMPLETION, AS DETERMINED BY THE ARCHITECT.
- LACK OF ENFORCEMENT OF THE SPECIFICATIONS BY ARCHITECT DOES NOT RELEASE CONTRACTOR FROM LIABILITY/RESPONSIBILITY TO MEET THE SPECIFICATION REQUIREMENTS WITH NO ADDITIONAL COST TO OWNER.
- SUBSTITUTIONS ON PROJECT ARE LIMITED TO SUBSTITUTIONS FOR CAUSE. THESE ARE DEFINED AS CHANGES PROPOSED BY CONTRACTOR DUE TO CHANGED PROJECT CONDITIONS, SUCH AS UNAVAILABILITY OF PRODUCT, REGULATORY CHANGES, OR UNAVAILABILITY OF REQUIRED WARRANTY TERMS. SUBSTITUTION REQUEST SHALL SHOW COMPLIANCE WITH REQUIREMENTS FOR SUBSTITUTION TO MEET OR EXCEED PROJECT REQUIREMENTS IN ACCORDANCE WITH ARCHITECT'S DOCUMENTATION REQUIREMENTS. PROVIDE COMPLETE COST, CALENDAR, AND CHANGES BREAKDOWN. SUBSTITUTION IS ACCEPTED ONLY IF CONFIRMED IN WRITING BY ARCHITECT.
- INDUSTRY STANDARDS: CONTRACTOR SHALL BE FAMILIAR WITH INDUSTRY STANDARDS AND CODE REQUIREMENTS SUCH AS, BUT NOT LIMITED TO, ICMA EXPANSION JOINT REQUIREMENTS, STUCCO JOINT DISTANCES AND PANEL SIZE / AREA REQUIREMENTS, CONTROL AND EXPANSION JOINT REQUIREMENTS, AND ADHESION TESTING FOR WATERPROOFING, ROOFING, SEALANTS, AND AIR AND MOISTURE BARRIER SYSTEMS. BEGINNING INSTALLATION OF SYSTEMS BY CONTRACTOR OR CONTRACTOR'S SUBCONTRACTORS, WORKMEN, SUPPLIERS, ETC., WILL BE INTERPRETED AS CONFIRMATION THAT CONTRACTOR UNDERSTANDS REQUIREMENTS AND INSTALLATION WILL BE IN ACCORDANCE WITH AND MEET THE INDUSTRY STANDARDS AND CODE REQUIREMENTS.
- CONTRACTOR SHALL ENGAGE MANUFACTURER'S AUTHORIZED REPRESENTATIVES FOR OBSERVATION AND ACCEPTANCE OF PROJECT CONDITIONS, CONFIRMATION OF INSTALLATION METHODS AND TECHNIQUES, ADHESION PROPERTIES, AND REVIEW AND ACCEPTANCE OF WARRANTY CONDITIONS. ENGAGEMENT SHALL INCLUDE OBSERVATION AND REVIEW OF MOCK-UPS TO DETERMINE ACCEPTANCE OF CONTRACTOR'S MEANS AND METHODS SPECIFIC TO REPRESENTATIVE'S PRODUCTS AND INSTALLATION REQUIREMENTS.

SITE CONDITIONS

- LOCATE, IDENTIFY, AND PROTECT ALL EXISTING UTILITIES ENCOUNTERED DURING THE WORK. IF ANY, NOTIFY UTILITY COMPANIES OF IMPENDING WORK.
- ENSURE THAT ALL UTILITY AND OTHER SERVICES WHICH MAY BE DISTURBED DURING CLOSE EXCAVATION ARE TEMPORARILY STAYED AND BRACED IN POSITION DURING THE WORK.
- PROVIDE SLEEVES APPROPRIATE TO CONSTRUCTION WHERE NEW PIPES, CONDUIT, AND DUCTS PENETRATE WALLS AND FLOORS. FILL VOIDS WITH FIRE SAFING INSULATION OR FOAM PENETRATION SEALANT.
- PROGRESS CLEANING: REMOVE DEBRIS FROM INTERIOR OF BUILDING ON A DAILY BASIS AND STORE TEMPORARILY IN COMMERCIAL TRASH CONTAINERS. REMOVE DEBRIS FROM BUILDING SITE AT INTERVALS REQUIRED TO MINIMIZE OVERFLOW AND SPILLAGE. HANDLE HAZARDOUS, DANGEROUS, OR UNSANITARY WASTE MATERIALS SEPARATELY FROM OTHER WASTE BY CONTAINERIZING PROPERLY. DISPOSE OF MATERIAL IN A LAWFUL MANNER.
- PROVIDE TEMPORARY TOILET FACILITIES FOR CONSTRUCTION USE. USE OF THE OWNERS TOILET FACILITIES WILL NOT BE PERMITTED.

FINAL COMPLETION

- DO NOT BURN WASTE MATERIALS. DO NOT BURY DEBRIS OR EXCESS MATERIALS ON THE OWNER'S PROPERTY. DO NOT DISCHARGE VOLATILE, HARMFUL OR DANGEROUS MATERIALS INTO DRAINAGE SYSTEMS. REMOVE WASTE MATERIALS FROM THE SITE AND DISPOSE IN A LAWFUL MANNER.
 - COMPLETE CLEANING OPERATIONS BEFORE REQUESTING INSPECTION FOR CERTIFICATION OF SUBSTANTIAL COMPLETION AND MAINTAIN BUILDING IN CLEANED CONDITION UNTIL FINAL COMPLETION
 - REMOVE TEMPORARY PROTECTION AND FACILITIES INSTALLED FOR PROTECTION OF THE WORK DURING CONSTRUCTION.
 - REMOVE LABELS, CLEAN GLASS SURFACES, AND DUST AND WIPE CLEAN ALL PRODUCTS, MATERIALS, SYSTEMS,FINISHES, EQUIPMENT, AND SURFACES.
- ARCHITECTS DISCLAIMER
- THE ARCHITECTS CERTIFICATION OF THE DOCUMENTS IS LIMITED TO THE DOCUMENTS AND THE INFORMATION CONTAINED IN THE DOCUMENTS.
 - THE ARCHITECTS CERTIFICATION SHALL NOT EXTEND TO REVISIONS TO THE DOCUMENTS OR REVISIONS IN THE INFORMATION CONTAINED IN THE DOCUMENTS WHERE SUCH REVISIONS WERE NOT PERFORMED AND/OR AUTHORIZED IN WRITING BY THE ARCHITECT.
 - THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR REVISIONS TO THE DOCUMENTS OR REVISIONS IN INFORMATION CONTAINED IN THE DOCUMENTS AND WHERE SUCH REVISIONS HAVE BEEN MADE BY OTHERS TO PRODUCTS, MATERIALS, FINISHES, DIMENSIONS, SYSTEMS, ASSEMBLIES, OR AESTHETIC INTENT.

PROJECT SUMMARY:

PROJECT IS AN INTERIOR RENOVATION IN AN EXISTING MEDICAL OFFICE BUILDING. 23,165 SF ONE STORY COMMERCIAL BUILDING. WORK TO INCLUDE NEW OFFICES. A NEW SIMULATION O.R. AND NEW INTERIOR FINISHES IN THE SHOWCASE ROOM.

ZONING INFORMATION:

ZONING: UNINCORPORATED COUNTY (I-1)
ACTUAL LOT AREA: 124,324 SQ FT (NO CHANGE)

DRAWING INDEX:

DRAWING LIST				
SHEET NUMBER	SHEET NAME	ISSUANCE	SHEET ISSUE DATE	CURRENT REVISION
GENERAL				
G000	COVER SHEET	CONSTRUCTION DOCUMENTS	04/18/2025	
G101	PROJECT INFORMATION	CONSTRUCTION DOCUMENTS	04/18/2025	
G102	CODE SUMMARY	CONSTRUCTION DOCUMENTS	04/18/2025	
G103	ANSI 117.1 REQUIREMENTS	CONSTRUCTION DOCUMENTS	04/18/2025	
G104	ASSEMBLIES	CONSTRUCTION DOCUMENTS	04/18/2025	
LIFE SAFETY				
LS1.1	LIFE SAFETY PLAN	CONSTRUCTION DOCUMENTS	04/18/2025	
ARCHITECTURAL				
A010	SITE PLAN	CONSTRUCTION DOCUMENTS	04/18/2025	
A050	DEMO FLOOR PLAN	CONSTRUCTION DOCUMENTS	04/18/2025	
A051	DEMO REFLECTED CEILING PLAN	CONSTRUCTION DOCUMENTS	04/18/2025	
A101	FLOOR PLAN	CONSTRUCTION DOCUMENTS	04/18/2025	
A151	REFLECTED CEILING PLAN	CONSTRUCTION DOCUMENTS	04/18/2025	
A300	ENLARGED FLOOR PLAN - SHOWCASE	CONSTRUCTION DOCUMENTS	04/18/2025	
A301	ENLARGED RCP - SHOWCASE	CONSTRUCTION DOCUMENTS	04/18/2025	
A302	ENLARGED FLOOR PLAN - OFFICES	CONSTRUCTION DOCUMENTS	04/18/2025	
A303	ENLARGED RCP - OFFICES	CONSTRUCTION DOCUMENTS	04/18/2025	
A400	INTERIOR ELEVATIONS	CONSTRUCTION DOCUMENTS	04/18/2025	
A401	INTERIOR ELEVATIONS	CONSTRUCTION DOCUMENTS	04/18/2025	
A402	INTERIOR ELEVATIONS	CONSTRUCTION DOCUMENTS	04/18/2025	
A500	DETAILS	CONSTRUCTION DOCUMENTS	04/18/2025	
A600	DOOR SCHEDULES	CONSTRUCTION DOCUMENTS	04/18/2025	
A601	FINISH SCHEDULE	CONSTRUCTION DOCUMENTS	04/18/2025	
A800	PERSPECTIVE	CONSTRUCTION DOCUMENTS	04/18/2025	
A801	PERSPECTIVE	CONSTRUCTION DOCUMENTS	04/18/2025	
STRUCTURAL				
S-1	STRUCTURAL GENERAL NOTES	CONSTRUCTION DOCUMENTS	04/18/2025	
S-2	PARTIAL ROOF FRAMING PLAN	CONSTRUCTION DOCUMENTS	04/18/2025	
S-3	STRUCTURAL SECTIONS	CONSTRUCTION DOCUMENTS	04/18/2025	
MECHANICAL				
M0.0	MECHANICAL NOTES & SCHEDULES	CONSTRUCTION DOCUMENTS	04/18/2025	
M1.0	MECHANICAL PLAN	CONSTRUCTION DOCUMENTS	04/18/2025	
ELECTRICAL				
E0.0	ONELINE NOTES SCHEDULES	CONSTRUCTION DOCUMENTS	04/18/2025	
E1.0	POWER PLAN	CONSTRUCTION DOCUMENTS	04/18/2025	
E1.1	POWER DEMO PLAN	CONSTRUCTION DOCUMENTS	04/18/2025	
E2.0	LIGHTING PLAN	CONSTRUCTION DOCUMENTS	04/18/2025	
E2.1	LIGHTING DEMO PLAN	CONSTRUCTION DOCUMENTS	04/18/2025	
ENERGY CONSERVATION				
EM1	ENERGY CONSERVATION DOCUMENTATION	CONSTRUCTION DOCUMENTS	04/18/2025	

PROJECT DESIGN TEAM:

ARCHITECT
MHK ARCHITECTURE
CONTACT: CHAD HOLMES
PHONE: (239) 689-7588
EMAIL: CHOLMES@MHKARCHITECTURE.COM

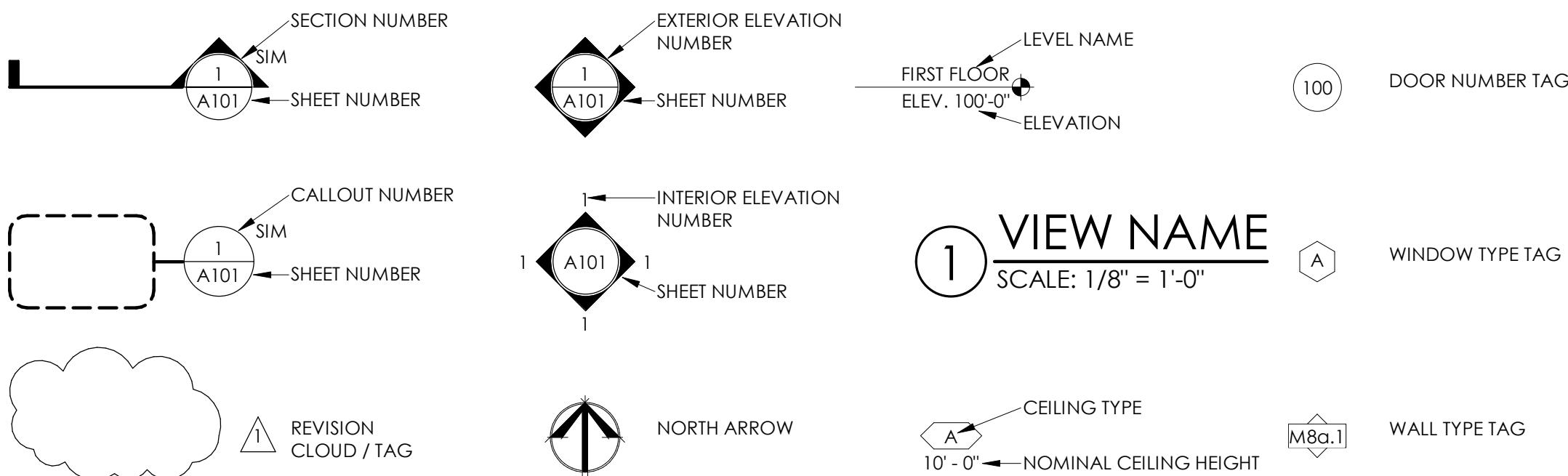
STRUCTURAL
MHK ARCHITECTURE
CONTACT: MARK ZAHN
PHONE: (239) 451-0606
EMAIL: MZAHN@MHKARCHITECTURE.COM

MEP ENGINEER
KVA CONSULTING
CONTACT: JOHN TINSLEY
PHONE: (239) 646-4770
EMAIL: JOHN@KVACONSULTING.NET

MATERIAL LEGEND:

	BRICK		PLYWOOD
	STEEL		SHINGLES
	RIGID INSULATION		SIDING
	EARTH		GYP. BD.
	UNDISTURBED EARTH		LUMBER
	GRAVEL		BLOCKING
	STRUCTURAL CONCRETE		FINISH WOOD
	CERAMIC TILE		GLASS
	ALUMINUM		CMU

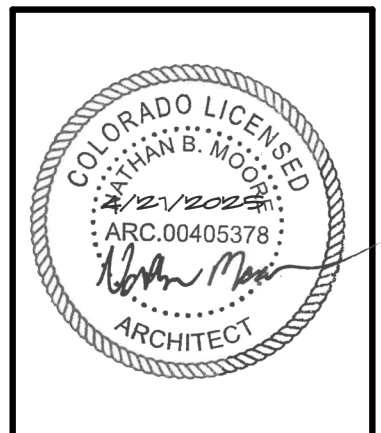
STANDARD SYMBOLS:



MHK
ARCHITECTURE

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**ARTHREX WEST RENOVATION
25 INVERNESS DRIVE EAST
ENGLEWOOD, CO 80112**



CONSTRUCTION DOCUMENTS	04/18/2025
1	
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4	
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7	
8	
9	
10	

PROJECT INFORMATION

PHASE PR NO PA/PM PERMIT 24218 CH

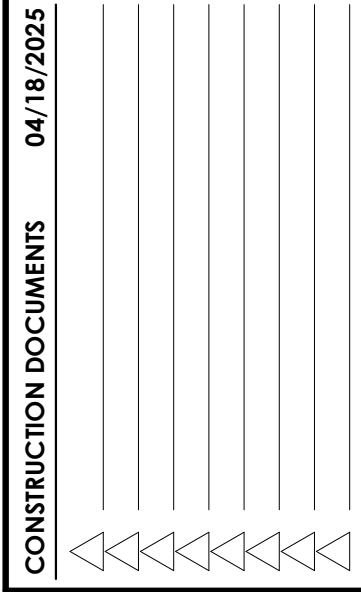
G101

CODE SUMMARY:

APPLICABLE CODES: <ul style="list-style-type: none">• 2021 INTERNATIONAL BUILDING CODE (IBC)• 2021 INTERNATIONAL EXISTING BUILDING CODE (IEBC)• 2021 INTERNATIONAL MECHANICAL CODE (IMC)• 2021 INTERNATIONAL FUEL GAS CODE (IFGC)• 2021 INTERNATIONAL PLUMBING CODE (IPC)• 2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)• NATIONAL ELECTRICAL CODE, 2023 (NEC)• 2017 ANSI 1-117.1		OCCUPANCY LOADS:																																																																																																																																																																																																																																																																																												
TYPE OF OCCUPANCY: <div>(PER SECTIONS 303.4, 304.1, 311.3)</div> OCCUPANCY: GROUP A-3, GROUP B, GROUP S-2		<table><tr><th colspan="6">OCCUPANCY</th></tr><tr><th rowspan="2">NAME</th><th rowspan="2">OCCUPANCY CLASSIFICATION</th><th rowspan="2">AREA</th><th colspan="3">IBC</th></tr><tr><th>FUNCTION OF SPACE</th><th>OCCUPANT LOAD FACTOR</th><th>NET/GROSS SF</th><th>OCCUPANCY</th></tr><tr><td colspan="6">FINISH FLOOR PLAN</td></tr><tr><td>BAR</td><td>B</td><td>214 SF</td><td>KITCHEN</td><td>200 SF</td><td>GSF</td><td>2</td></tr><tr><td>BREAKROOM</td><td>A-3</td><td>704 SF</td><td>TABLES/CHAIRS</td><td>15 SF</td><td>NSF</td><td>47</td></tr><tr><td>CLASSROOM</td><td>B</td><td>2321 SF</td><td>CLASSROOM</td><td>20 SF</td><td>NSF</td><td>117</td></tr><tr><td>CONFERENCE #1</td><td>A-3</td><td>444 SF</td><td>TABLES/CHAIRS</td><td>15 SF</td><td>NSF</td><td>30</td></tr><tr><td>CONFERENCE #2</td><td>A-3</td><td>225 SF</td><td>TABLES/CHAIRS</td><td>15 SF</td><td>NSF</td><td>16</td></tr><tr><td>CORRIDORS</td><td>B</td><td>1047 SF</td><td>BUSINESS</td><td>150 SF</td><td>GSF</td><td>7</td></tr><tr><td>ELEC.</td><td>S-2</td><td>86 SF</td><td>MECH. EQUIP.</td><td>300 SF</td><td>GSF</td><td>1</td></tr><tr><td>EMPLOYEE M</td><td>(none)</td><td>81 SF</td><td>-</td><td>0 SF</td><td></td><td></td></tr><tr><td>EMPLOYEE W</td><td>(none)</td><td>97 SF</td><td>-</td><td>0 SF</td><td></td><td></td></tr><tr><td>EQUIPMENT</td><td>S-2</td><td>140 SF</td><td>MECH. EQUIP.</td><td>300 SF</td><td>GSF</td><td>1</td></tr><tr><td>HUDDLE #1</td><td>B</td><td>174 SF</td><td>TABLES/CHAIRS</td><td>15 SF</td><td>NSF</td><td>12</td></tr><tr><td>HUDDLE #2</td><td>B</td><td>176 SF</td><td>TABLES/CHAIRS</td><td>15 SF</td><td>NSF</td><td>12</td></tr><tr><td>INVENTORY</td><td>S-2</td><td>5946 SF</td><td>WAREHOUSE</td><td>500 SF</td><td>GSF</td><td>12</td></tr><tr><td>LAB</td><td>B</td><td>1119 SF</td><td>VOCATIONAL</td><td>50 SF</td><td>NSF</td><td>23</td></tr><tr><td>LOBBY</td><td>B</td><td>795 SF</td><td>BUSINESS</td><td>150 SF</td><td>GSF</td><td>6</td></tr><tr><td>MECH.</td><td>S-2</td><td>62 SF</td><td>MECH. EQUIP.</td><td>300 SF</td><td>GSF</td><td>1</td></tr><tr><td>MEN</td><td>(none)</td><td>205 SF</td><td>-</td><td>0 SF</td><td></td><td></td></tr><tr><td>MEN'S LOCKER</td><td>B</td><td>197 SF</td><td>LOCKER</td><td>50 SF</td><td>GSF</td><td>4</td></tr><tr><td>OFFICE #1</td><td>B</td><td>166 SF</td><td>BUSINESS</td><td>150 SF</td><td>GSF</td><td>2</td></tr><tr><td>OFFICE #2</td><td>B</td><td>164 SF</td><td>BUSINESS</td><td>150 SF</td><td>GSF</td><td>2</td></tr><tr><td>OFFICE #3</td><td>B</td><td>161 SF</td><td>BUSINESS</td><td>150 SF</td><td>GSF</td><td>2</td></tr><tr><td>OFFICE #4</td><td>B</td><td>95 SF</td><td>BUSINESS</td><td>150 SF</td><td>GSF</td><td>1</td></tr><tr><td>OFFICE #5</td><td>B</td><td>145 SF</td><td>BUSINESS</td><td>150 SF</td><td>GSF</td><td>1</td></tr><tr><td>OFFICE #6</td><td>B</td><td>142 SF</td><td>BUSINESS</td><td>150 SF</td><td>GSF</td><td>1</td></tr><tr><td>OFFICE #7</td><td>B</td><td>145 SF</td><td>BUSINESS</td><td>150 SF</td><td>GSF</td><td>1</td></tr><tr><td>OPEN OFFICE</td><td>B</td><td>1510 SF</td><td>TABLES/CHAIRS</td><td>15 SF</td><td>NSF</td><td>101</td></tr><tr><td>OUTDOOR PATIO</td><td>A-3</td><td>2289 SF</td><td>TABLES/CHAIRS</td><td>15 SF</td><td>NSF</td><td>153</td></tr><tr><td>PREP.</td><td>S-2</td><td>301 SF</td><td>MECH. EQUIP.</td><td>300 SF</td><td>GSF</td><td>2</td></tr><tr><td>R&D OVERFLOW</td><td>B</td><td>1168 SF</td><td>VOCATIONAL</td><td>50 SF</td><td>NSF</td><td>24</td></tr><tr><td>SHOWCASE</td><td>A-3</td><td>1433 SF</td><td>GALLERY</td><td>30 SF</td><td>NSF</td><td>48</td></tr><tr><td>STORAGE #1</td><td>S-2</td><td>95 SF</td><td>MECH. EQUIP.</td><td>300 SF</td><td>GSF</td><td>1</td></tr><tr><td>STORAGE #2</td><td>S-2</td><td>373 SF</td><td>MECH. EQUIP.</td><td>300 SF</td><td>GSF</td><td>2</td></tr><tr><td>SUCTION/MECH.</td><td>S-2</td><td>69 SF</td><td>MECH. EQUIP.</td><td>300 SF</td><td>GSF</td><td>1</td></tr><tr><td>SURGEON LOUNGE</td><td>A-3</td><td>1111 SF</td><td>TABLES/CHAIRS</td><td>15 SF</td><td>NSF</td><td>75</td></tr><tr><td>VESTIBULE</td><td>B</td><td>146 SF</td><td>BUSINESS</td><td>150 SF</td><td>GSF</td><td>1</td></tr><tr><td>WOMEN</td><td>(none)</td><td>234 SF</td><td>-</td><td>0 SF</td><td></td><td></td></tr><tr><td>WOMEN'S LOCKER</td><td>B</td><td>129 SF</td><td>LOCKER</td><td>50 SF</td><td>GSF</td><td>3</td></tr></table>				OCCUPANCY						NAME	OCCUPANCY CLASSIFICATION	AREA	IBC			FUNCTION OF SPACE	OCCUPANT LOAD FACTOR	NET/GROSS SF	OCCUPANCY	FINISH FLOOR PLAN						BAR	B	214 SF	KITCHEN	200 SF	GSF	2	BREAKROOM	A-3	704 SF	TABLES/CHAIRS	15 SF	NSF	47	CLASSROOM	B	2321 SF	CLASSROOM	20 SF	NSF	117	CONFERENCE #1	A-3	444 SF	TABLES/CHAIRS	15 SF	NSF	30	CONFERENCE #2	A-3	225 SF	TABLES/CHAIRS	15 SF	NSF	16	CORRIDORS	B	1047 SF	BUSINESS	150 SF	GSF	7	ELEC.	S-2	86 SF	MECH. EQUIP.	300 SF	GSF	1	EMPLOYEE M	(none)	81 SF	-	0 SF			EMPLOYEE W	(none)	97 SF	-	0 SF			EQUIPMENT	S-2	140 SF	MECH. EQUIP.	300 SF	GSF	1	HUDDLE #1	B	174 SF	TABLES/CHAIRS	15 SF	NSF	12	HUDDLE #2	B	176 SF	TABLES/CHAIRS	15 SF	NSF	12	INVENTORY	S-2	5946 SF	WAREHOUSE	500 SF	GSF	12	LAB	B	1119 SF	VOCATIONAL	50 SF	NSF	23	LOBBY	B	795 SF	BUSINESS	150 SF	GSF	6	MECH.	S-2	62 SF	MECH. EQUIP.	300 SF	GSF	1	MEN	(none)	205 SF	-	0 SF			MEN'S LOCKER	B	197 SF	LOCKER	50 SF	GSF	4	OFFICE #1	B	166 SF	BUSINESS	150 SF	GSF	2	OFFICE #2	B	164 SF	BUSINESS	150 SF	GSF	2	OFFICE #3	B	161 SF	BUSINESS	150 SF	GSF	2	OFFICE #4	B	95 SF	BUSINESS	150 SF	GSF	1	OFFICE #5	B	145 SF	BUSINESS	150 SF	GSF	1	OFFICE #6	B	142 SF	BUSINESS	150 SF	GSF	1	OFFICE #7	B	145 SF	BUSINESS	150 SF	GSF	1	OPEN OFFICE	B	1510 SF	TABLES/CHAIRS	15 SF	NSF	101	OUTDOOR PATIO	A-3	2289 SF	TABLES/CHAIRS	15 SF	NSF	153	PREP.	S-2	301 SF	MECH. EQUIP.	300 SF	GSF	2	R&D OVERFLOW	B	1168 SF	VOCATIONAL	50 SF	NSF	24	SHOWCASE	A-3	1433 SF	GALLERY	30 SF	NSF	48	STORAGE #1	S-2	95 SF	MECH. EQUIP.	300 SF	GSF	1	STORAGE #2	S-2	373 SF	MECH. EQUIP.	300 SF	GSF	2	SUCTION/MECH.	S-2	69 SF	MECH. EQUIP.	300 SF	GSF	1	SURGEON LOUNGE	A-3	1111 SF	TABLES/CHAIRS	15 SF	NSF	75	VESTIBULE	B	146 SF	BUSINESS	150 SF	GSF	1	WOMEN	(none)	234 SF	-	0 SF			WOMEN'S LOCKER	B	129 SF	LOCKER	50 SF	GSF	3
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ALLOWABLE BLDG. AREA: <div>(PER TABLE 506.2)</div> <table><tr><td>ALLOWED AREA</td><td>PROJECT DATA</td></tr><tr><td><ul style="list-style-type: none">• GROUP A-3: 38,000 SF (SPRINKLERED)• GROUP B: 92,000 SF (SPRINKLERED)• GROUP S-2: 104,000 SF (SPRINKLERED)</td><td><ul style="list-style-type: none">• 23,149 SF (NO CHANGE)</td></tr></table>		ALLOWED AREA	PROJECT DATA	<ul style="list-style-type: none">• GROUP A-3: 38,000 SF (SPRINKLERED)• GROUP B: 92,000 SF (SPRINKLERED)• GROUP S-2: 104,000 SF (SPRINKLERED)	<ul style="list-style-type: none">• 23,149 SF (NO CHANGE)	TOTAL OCCUPANCY = 712 OCCUPANTS																																																																																																																																																																																																																																																																																								
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ALLOWABLE BLDG. HEIGHT: <div>(PER TABLE 504.3)</div> <table><tr><td>ALLOWED FEET ABOVE THE GRADE PLANE</td><td>PROJECT DATA</td></tr><tr><td><ul style="list-style-type: none">• GROUP A-3: 75 FEET (SPRINKLERED)• GROUP B: 75 FEET (SPRINKLERED)• GROUP S-2: 75 FEET (SPRINKLERED)</td><td><ul style="list-style-type: none">• 24'-0" (NO CHANGE)</td></tr></table>		ALLOWED FEET ABOVE THE GRADE PLANE	PROJECT DATA	<ul style="list-style-type: none">• GROUP A-3: 75 FEET (SPRINKLERED)• GROUP B: 75 FEET (SPRINKLERED)• GROUP S-2: 75 FEET (SPRINKLERED)	<ul style="list-style-type: none">• 24'-0" (NO CHANGE)																																																																																																																																																																																																																																																																																									
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OCCUPANCY SEPARATION: <div>(PER TABLE 508.3, 508.4)</div> <ul style="list-style-type: none">• NON-SEPARATED OCCUPANCY FOR PRIMARY BUILDING• 1 HOUR SEPARATION PROVIDED BETWEEN OCCUPANCY GROUP B AND S-2																																																																																																																																																																																																																																																																																														
FIRE-RESISTANCE RATING: <div>(PER TABLE 601)</div> <table><tr><td>BUILDING ELEMENT</td><td>FIRE RATING IN HOURS (NO CHANGE)</td></tr><tr><td><ul style="list-style-type: none">• PRIMARY STRUCTURAL FRAME• BEARING WALL<ul style="list-style-type: none">• EXTERIOR• INTERIOR• NONBEARING WALLS AND PARTITIONS<ul style="list-style-type: none">• EXTERIOR• INTERIOR• FLOOR STRUCTURE AND ASSOCIATED SECONDARY STRUCTURAL MEMBERS• ROOF CONSTRUCTION AND ASSOCIATED SECONDARY STRUCTURAL MEMBERS</td><td><ul style="list-style-type: none">• 0• 0• 0• 0• 0• 0</td></tr></table>		BUILDING ELEMENT	FIRE RATING IN HOURS (NO CHANGE)	<ul style="list-style-type: none">• PRIMARY STRUCTURAL FRAME• BEARING WALL<ul style="list-style-type: none">• EXTERIOR• INTERIOR• NONBEARING WALLS AND PARTITIONS<ul style="list-style-type: none">• EXTERIOR• INTERIOR• FLOOR STRUCTURE AND ASSOCIATED SECONDARY STRUCTURAL MEMBERS• ROOF CONSTRUCTION AND ASSOCIATED SECONDARY STRUCTURAL MEMBERS	<ul style="list-style-type: none">• 0• 0• 0• 0• 0• 0																																																																																																																																																																																																																																																																																									
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<ul style="list-style-type: none">• PRIMARY STRUCTURAL FRAME• BEARING WALL<ul style="list-style-type: none">• EXTERIOR• INTERIOR• NONBEARING WALLS AND PARTITIONS<ul style="list-style-type: none">• EXTERIOR• INTERIOR• FLOOR STRUCTURE AND ASSOCIATED SECONDARY STRUCTURAL MEMBERS• ROOF CONSTRUCTION AND ASSOCIATED SECONDARY STRUCTURAL MEMBERS	<ul style="list-style-type: none">• 0• 0• 0• 0• 0• 0																																																																																																																																																																																																																																																																																													
MEANS OF EGRESS: <div>NUMBER OF EXITS:<div>(PER TABLE 1006.3.3)</div><ul style="list-style-type: none">• 3 EXITS (501-1,000 OCCUPANTS PER STORY)• 7 EXITS (EXISTING)EXIT CAPACITY:<div>(PER 1005.3.2, EXCEPTION 1)</div>DOORS:<ul style="list-style-type: none">• 712 TOTAL OCC x .15" = 106.8" REQUIRED EGRESS WIDTH• 340' (4 SINGLE + 3 DOUBLE) PROVIDED</div>																																																																																																																																																																																																																																																																																														
EGRESS DISTANCES: <div>(PER TABLE 1017.2)</div> <ul style="list-style-type: none">• TRAVEL DISTANCE (TABLE 1017.2):<ul style="list-style-type: none">• (A) MAX. 250 FEET WITH SPRINKLER SYSTEM• (B) MAX. 300 FEET WITH SPRINKLER SYSTEM• (S) MAX. 400 FEET WITH SPRINKLER SYSTEM• TRAVEL DISTANCE = 139'-2"• COMMON PATH OF TRAVEL (TABLE 1006.2.1):<ul style="list-style-type: none">• (A) MAX 75 FEET WITH SPRINKLER SYSTEM• (B & S) MAX 100 FEET WITH SPRINKLER SYSTEM• COMMON PATH: 76'-7"• INTERVENING SPACES (1016.2): SPACES IN THE LOWER LEFT OF THE PLAN EGRESS THROUGH INTERVENING SPACES. THE SPACES EGRESSSED THROUGH HAVE THE SAME OR LESSER HAZARD OCCUPANCY GROUP AND A DISCERNABLE PATH OF EGRESS IS PROVIDED. ALL OTHER REQUIEMENTS OUTLINED IN 1016.2 TO EGRESS THROUGH AN INTERVENING SPACE SHALL BE MET.• DEAD END CORRIDOR (1020.5, EXCEPTION 2):<ul style="list-style-type: none">• (A) MAX 20 FEET WITH SPRINKLER SYSTEM• (B & S) MAX 50 FEET WITH SPRINKLER SYSTEM																																																																																																																																																																																																																																																																																														

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ARTHREX WEST RENOVATION
25 INVERNESS DRIVE EAST
ENGLEWOOD, CO 80112

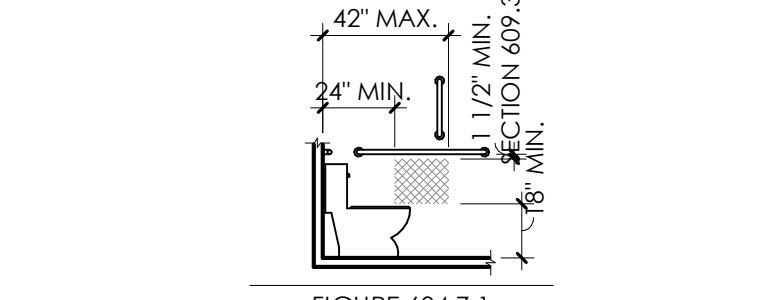
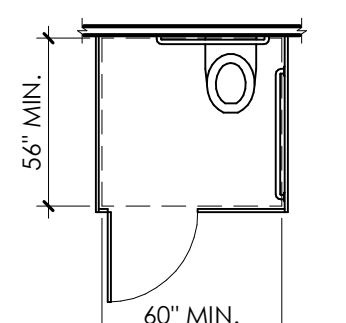
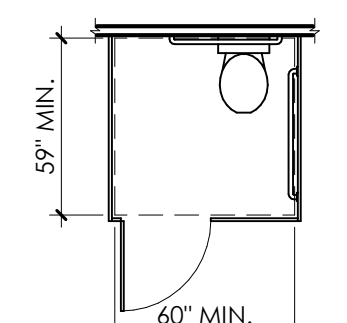
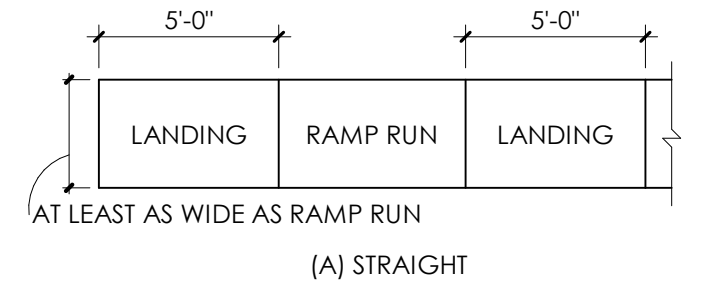
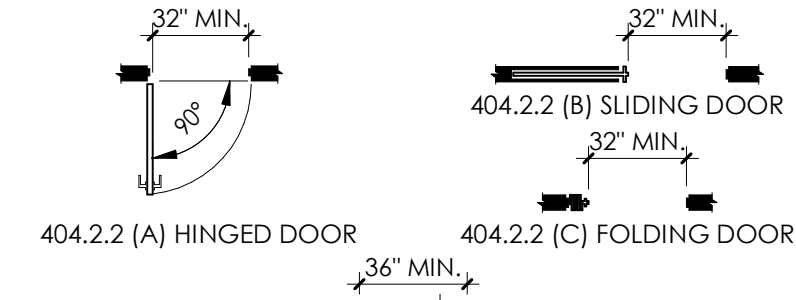
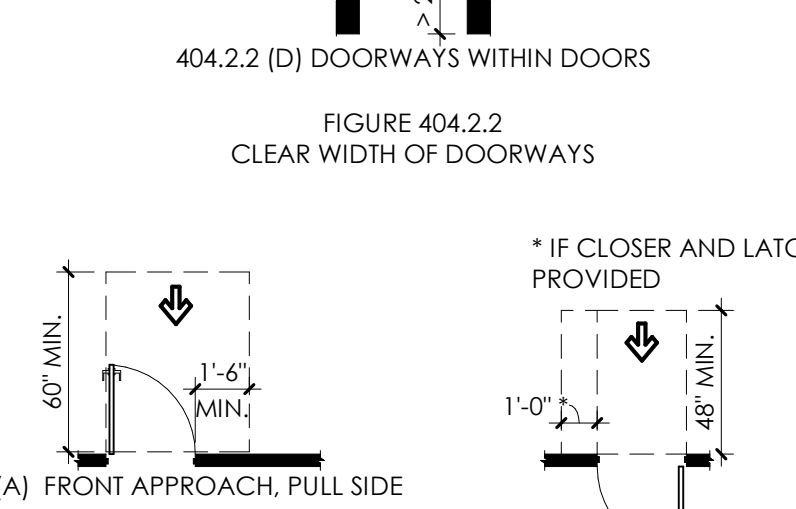
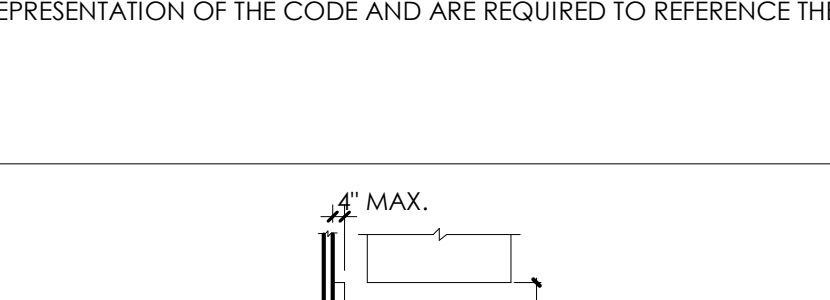
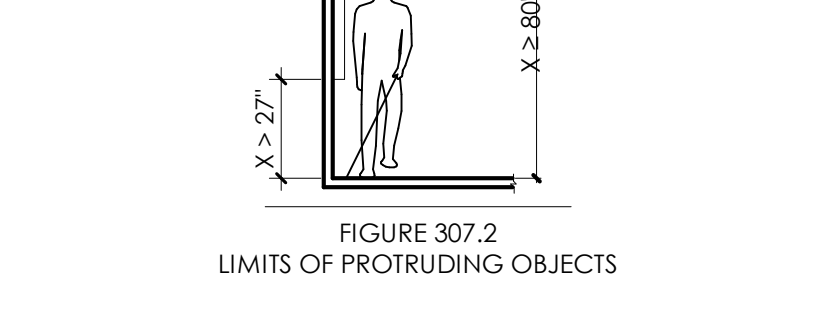
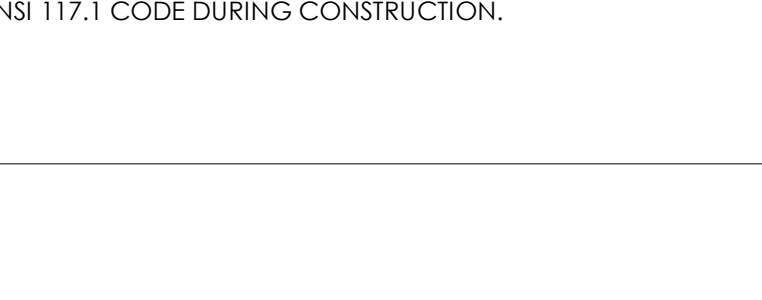
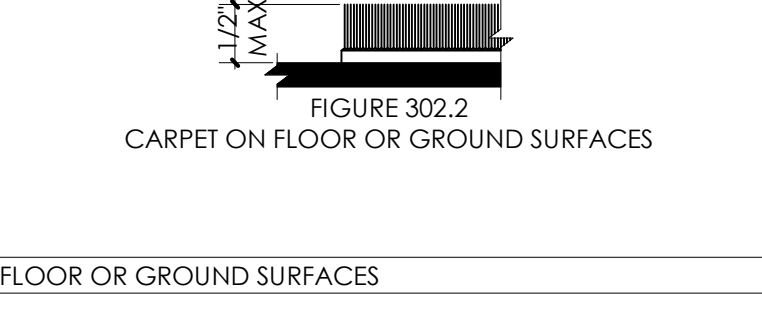
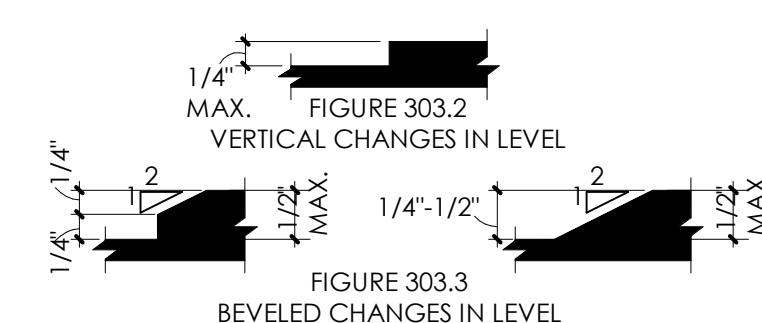
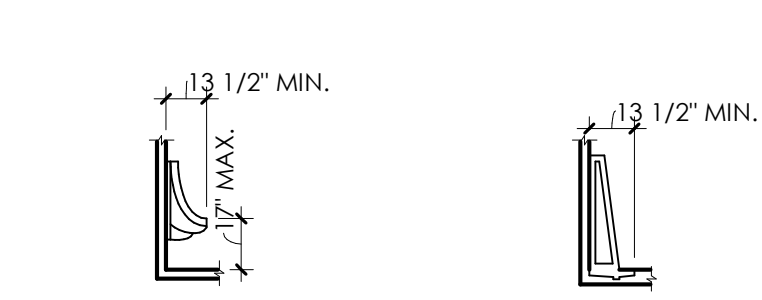
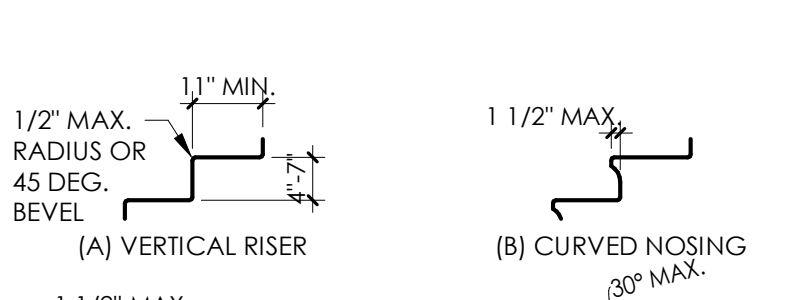
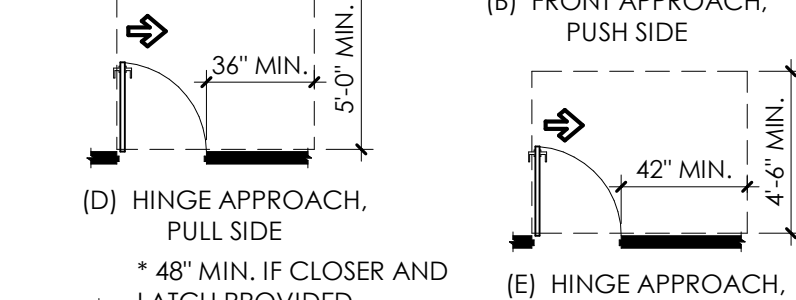
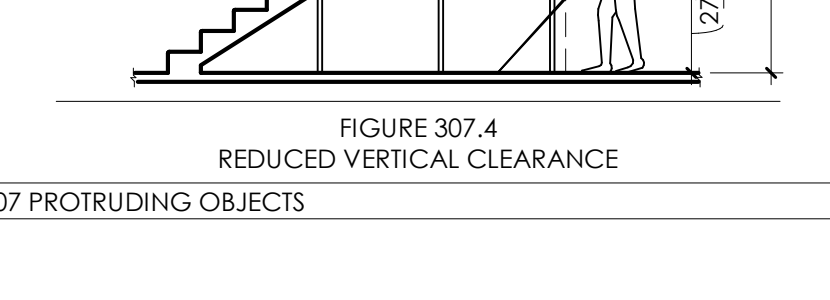
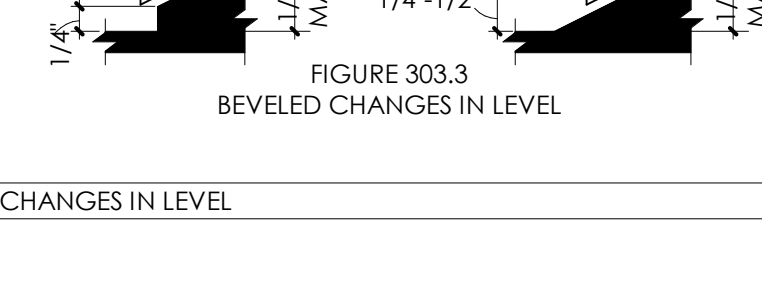
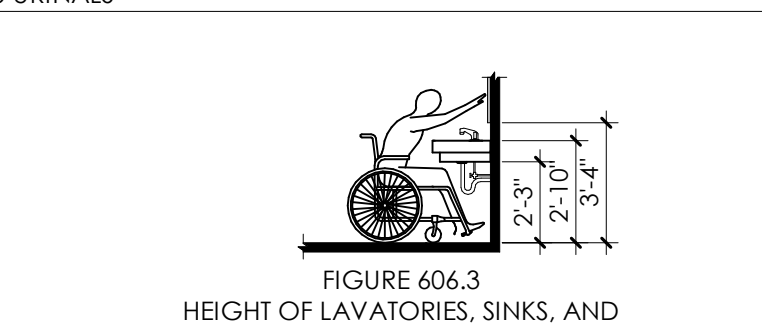
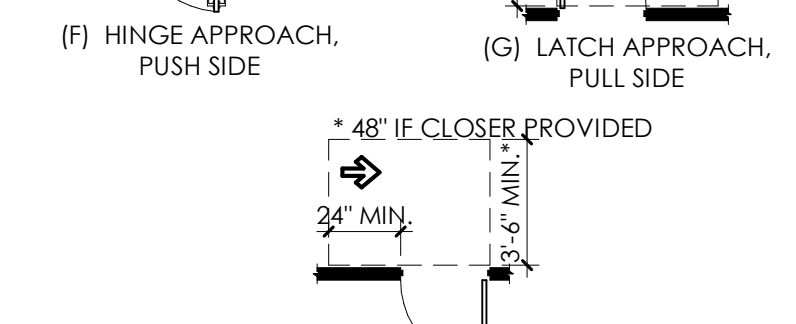
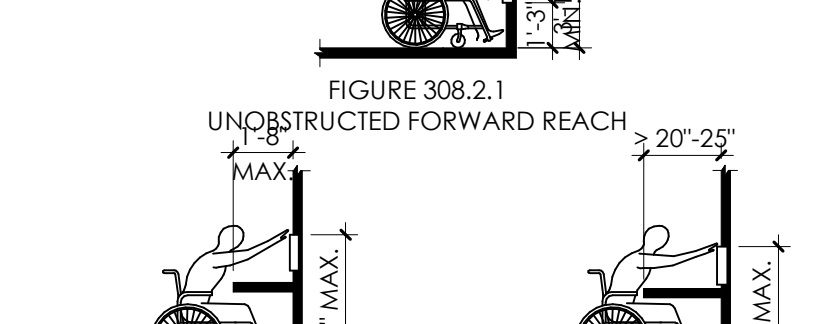
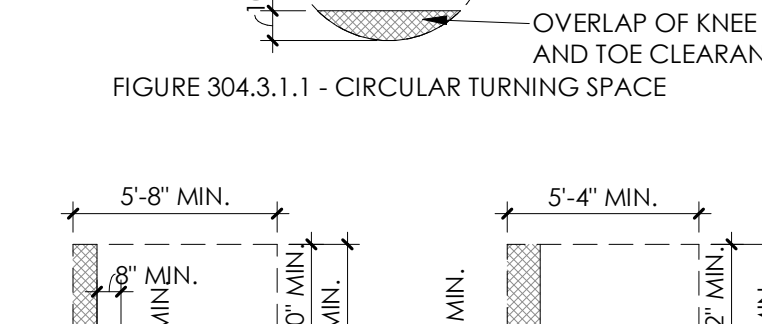





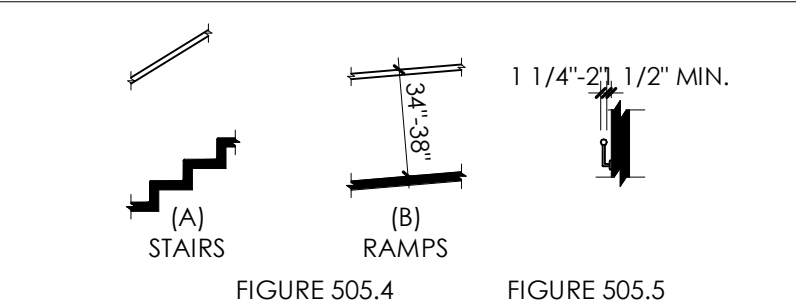
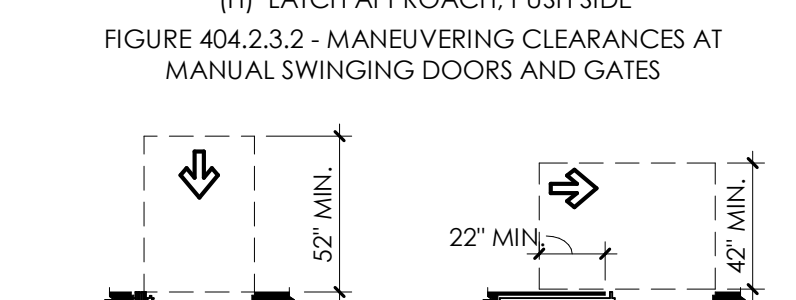
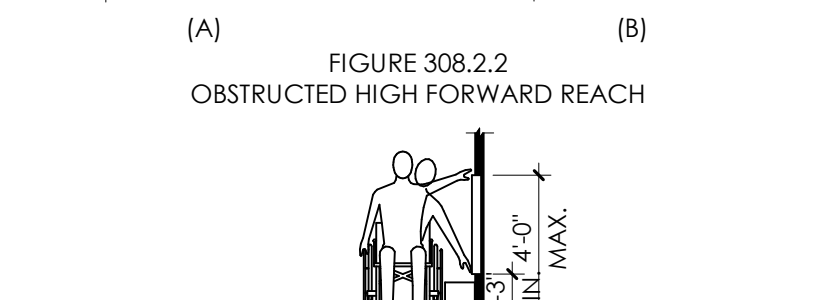
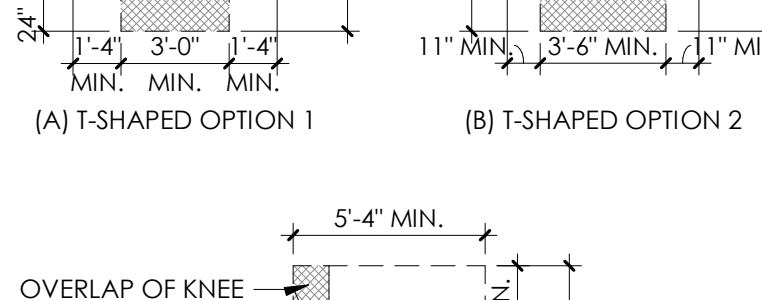



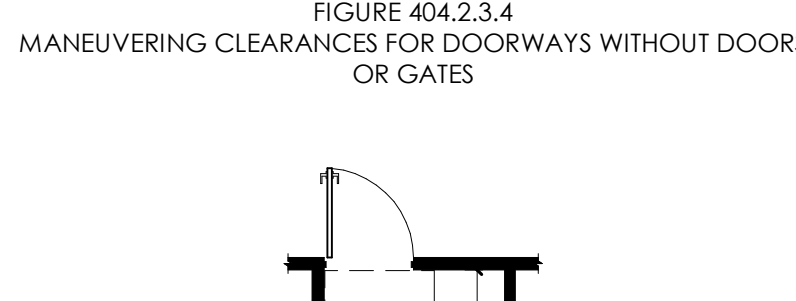
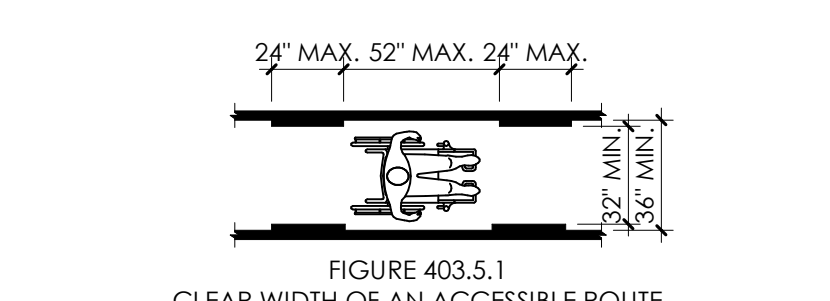
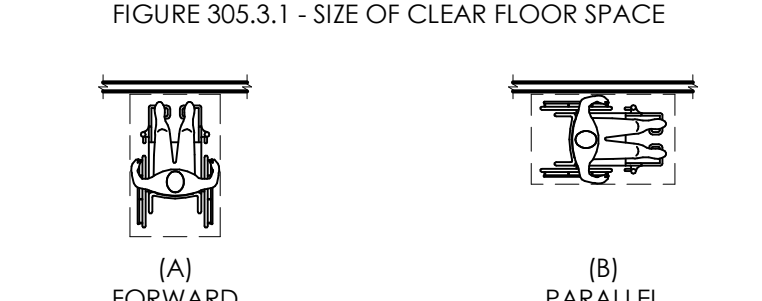



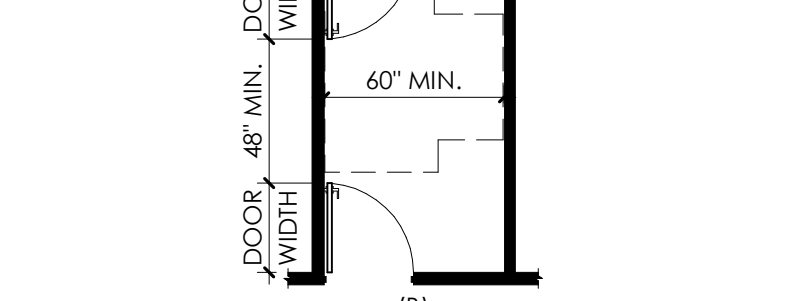
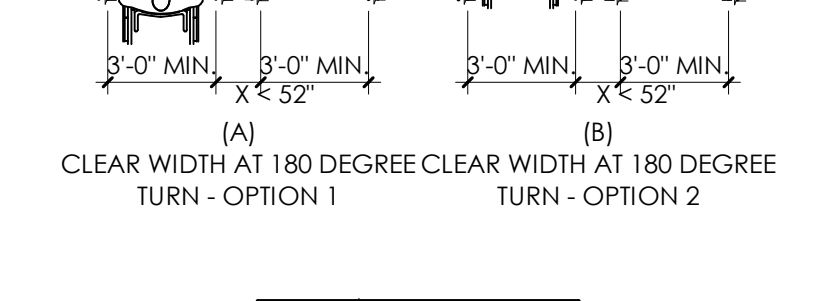
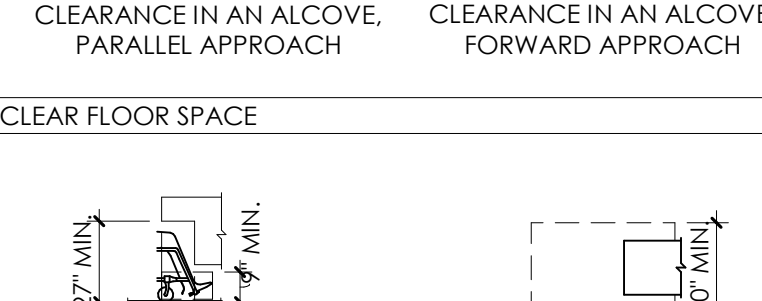
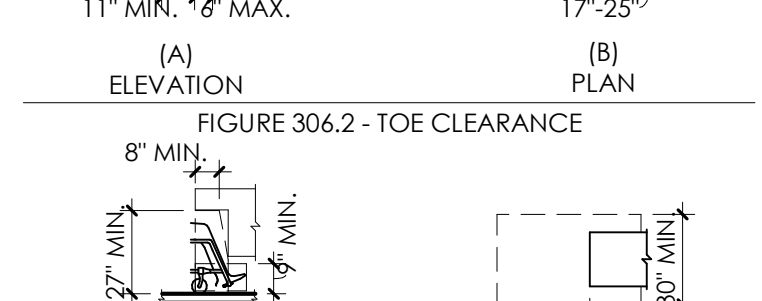


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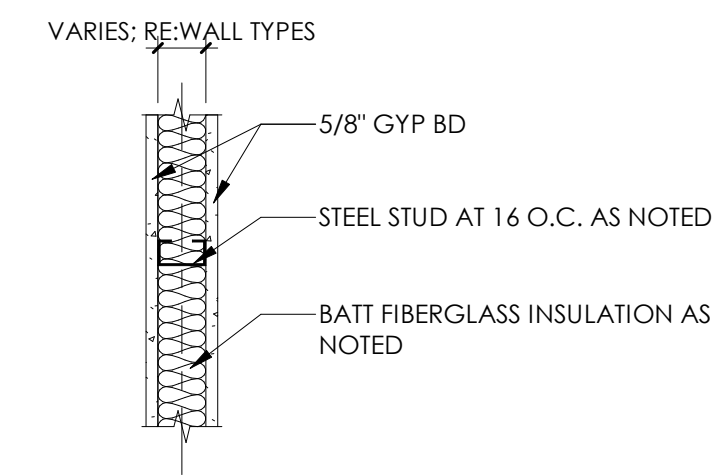
PHASE
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24218
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G102

 <p>FIGURE 604.7.1 DISPENSER OUTLET LOCATION - PROTRUDING DISPENSER BELOW GRAB BAR</p>  <p>FIGURE 604.9.2 (A) WHEELCHAIR TOILET COMPARTMENTS WALL HUNG CLOSET, ADULT</p>  <p>FIGURE 604.9.2 (B) WHEELCHAIR TOILET COMPARTMENTS FLOOR MOUNTED WATER CLOSET</p>	 <p>(A) STRAIGHT AT LEAST AS WIDE AS RAMP RUN</p> <p>(B) CHANGE IN DIRECTION</p> <p>FIGURE 405.7 RAMP LANDINGS</p>	 <p>404.2.2 (A) HINGED DOOR 32" MIN.</p> <p>404.2.2 (B) SLIDING DOOR 32" MIN.</p> <p>404.2.2 (C) FOLDING DOOR 32" MIN.</p> <p>404.2.2 (D) DOORWAYS WITHIN DOORS 36" MIN.</p> <p>FIGURE 404.2.2 CLEAR WIDTH OF DOORWAYS</p>  <p>(A) FRONT APPROACH, PULL SIDE 52" MIN.</p> <p>(B) FRONT APPROACH, PUSH SIDE 52" MIN.</p> <p>(C) POCKET OR HINGE APPROACH 22" MIN.</p> <p>(D) STOP OR LATCH APPROACH 42" MIN.</p> <p>(E) HINGE APPROACH, PULL SIDE 48" MIN.</p> <p>(F) HINGE APPROACH, PUSH SIDE 42" MIN.</p> <p>(G) LATCH APPROACH, PULL SIDE 48" MIN.</p> <p>(H) LATCH APPROACH, PUSH SIDE 48" MIN.</p> <p>FIGURE 404.2.3 MANEUVERING CLEARANCES AT MANUAL SWINGING DOORS AND GATES</p>	<p>DISCLAIMER: THESE SHEETS DO NOT REPRESENT THE FULL EXTENT OF THE 2017 ANSI 117.1 CODE. CONTRACTORS ARE NOT TO USE THIS AS A FULL REPRESENTATION OF THE CODE AND ARE REQUIRED TO REFERENCE THE 2017 ANSI 117.1 CODE DURING CONSTRUCTION.</p>  <p>FIGURE 307.2 LIMITS OF PROTRUDING OBJECTS</p>  <p>FIGURE 307.4 REDUCED VERTICAL CLEARANCE</p>	 <p>FIGURE 302.2 CARPET ON FLOOR OR GROUND SURFACES</p> <p>302 FLOOR OR GROUND SURFACES</p>  <p>FIGURE 303.2 VERTICAL CHANGES IN LEVEL</p>  <p>FIGURE 303.3 BEVELED CHANGES IN LEVEL</p> <p>303 CHANGES IN LEVEL</p>
 <p>(A) WALL HUNG TYPE 13 1/2" MIN.</p> <p>(B) STALL TYPE 13 1/2" MIN.</p> <p>FIGURE 605.2 HEIGHT AND DEPTH OF URINALS</p>	 <p>(A) VERTICAL RISER 1 1/2" MAX.</p> <p>(B) CURVED NOSING 1 1/2" MAX.</p> <p>(C) BEVELED NOSING 1 1/2" MAX.</p> <p>(D) ANGLED RISER 1 1/2" MAX.</p> <p>FIGURE 504.2 TREADS AND RISERS FOR STAIRWAYS</p>	 <p>(A) FRONT APPROACH 52" MIN.</p> <p>(C) POCKET OR HINGE APPROACH 22" MIN.</p> <p>(D) STOP OR LATCH APPROACH 42" MIN.</p> <p>(E) HINGE APPROACH, PULL SIDE 48" MIN.</p> <p>(F) HINGE APPROACH, PUSH SIDE 42" MIN.</p> <p>(G) LATCH APPROACH, PULL SIDE 48" MIN.</p> <p>(H) LATCH APPROACH, PUSH SIDE 48" MIN.</p> <p>FIGURE 404.2.3.2 MANEUVERING CLEARANCES AT MANUAL SWINGING DOORS AND GATES</p>	 <p>FIGURE 308.2.1 UNOBSTRUCTED FORWARD REACH</p> <p>(A) UNOBSTRUCTED FORWARD REACH 48" MAX.</p> <p>(B) OBSTRUCTED HIGH FORWARD REACH 48" MAX.</p>	 <p>FIGURE 304.3.1.1 - CIRCULAR TURNING SPACE OVERLAP OF KNEE AND TOE CLEARANCE</p>
 <p>FIGURE 606.3 HEIGHT OF LAVATORIES, SINKS, AND MIRRORS</p>	<p>504.6 - VISUAL CONTRAST THE LEADING 1 TO 2 INCHES OF EVERY TREAD AND LANDING, MEASURED HORIZONTALLY FROM THE LEADING EDGE OF THE NOSING, SHALL CONSIST OF A SOLID COLOR HAVING VISUAL CONTRAST OF DARK-ON-LIGHT OR LIGHT-ON-DARK FROM THE REMAINDER OF THE TREAD. THE CONTRAST MARKING SHALL BE DURABLE AND SHALL EXTEND FROM ONE SIDE OF EACH TREAD TO THE OTHER SIDE OF EACH TREAD.</p>	 <p>(A) FRONT APPROACH 52" MIN.</p> <p>(C) SIDE APPROACH 42" MIN.</p>	 <p>FIGURE 308.2.2 OBSTRUCTED HIGH FORWARD REACH</p> <p>(A) OBSTRUCTED HIGH FORWARD REACH 48" MAX.</p> <p>(B) OBSTRUCTED HIGH SIDE REACH 48" MAX.</p>	 <p>(A) T-SHAPED OPTION 1 5'-8" MIN.</p> <p>(B) T-SHAPED OPTION 2 5'-4" MIN.</p> <p>(C) T-SHAPED OPTION 3 5'-0" MIN.</p>
 <p>FIGURE 505.4 HANDRAIL HEIGHT</p>  <p>FIGURE 505.5 HANDRAIL CLEARANCE</p>  <p>FIGURE 505.10.1 TOP AND BOTTOM HANDRAIL EXTENSIONS AT RAMP</p>  <p>FIGURE 505.10.2 TOP HANDRAIL EXTENSIONS AT STAIRS</p>  <p>FIGURE 505.10.3 BOTTOM HANDRAIL EXTENSIONS AT STAIRS</p>	 <p>(A) TWO DOORS OR GATES IN A SERIES 60" MIN.</p> <p>(B) TWO DOORS OR GATES IN A SERIES 60" MIN.</p> <p>(C) TWO DOORS OR GATES IN A SERIES 60" MIN.</p> <p>FIGURE 404.2.5 TWO DOORS OR GATES IN A SERIES</p>	 <p>(A) FRONT APPROACH 52" MIN.</p> <p>(C) SIDE APPROACH 42" MIN.</p>	 <p>FIGURE 308.3.1 UNOBSTRUCTED SIDE REACH</p> <p>(A) UNOBSTRUCTED SIDE REACH 48" MAX.</p> <p>(B) UNOBSTRUCTED SIDE REACH 48" MAX.</p>	 <p>(A) T-SHAPED OPTION 1 5'-8" MIN.</p> <p>(B) T-SHAPED OPTION 2 5'-4" MIN.</p> <p>(C) T-SHAPED OPTION 3 5'-0" MIN.</p>
 <p>FIGURE 602.2.1 CLEAR FLOOR SPACE AT WHEELCHAIR DRINKING FOUNTAINS</p>  <p>FIGURE 602.2.3 WHEELCHAIR DRINKING FOUNTAIN HEIGHT AND LOCATION</p>  <p>FIGURE 602.2.4 WHEELCHAIR DRINKING FOUNTAIN SPOUT LOCATION</p>	<p>505 HANDRAILS</p>	 <p>(A) FRONT APPROACH 52" MIN.</p> <p>(C) SIDE APPROACH 42" MIN.</p>	 <p>FIGURE 403.5.1 CLEAR WIDTH OF AN ACCESSIBLE ROUTE</p>	 <p>FIGURE 305.3.1 - SIZE OF CLEAR FLOOR SPACE</p> <p>(A) FORWARD 52" MIN.</p> <p>(B) PARALLEL 52" MIN.</p> <p>FIGURE 305.5 - POSITION OF CLEAR FLOOR SPACE</p>
 <p>FIGURE 604.3 SIZE OF CLEARANCE AT WATER CLOSETS</p>  <p>FIGURE 604.5.1 SIDE-WALL GRAB BAR FOR WATER CLOSET</p>  <p>FIGURE 604.5.2 REAR WALL GRAB BAR FOR WATER CLOSET</p>	<p>602 DRINKING FOUNTAINS AND BOTTLE FILLING STATIONS</p>	 <p>(A) FRONT APPROACH 52" MIN.</p> <p>(C) SIDE APPROACH 42" MIN.</p>	 <p>FIGURE 403.5.1 CLEAR WIDTH OF AN ACCESSIBLE ROUTE</p>	 <p>FIGURE 305.7.1 - MANEUVERING CLEARANCE IN AN ALCOVE, PARALLEL APPROACH</p>  <p>FIGURE 305.7.2 - MANEUVERING CLEARANCE IN AN ALCOVE, FORWARD APPROACH</p>
<p>604 WATER CLOSETS AND TOILET COMPARTMENTS</p>	<p>405 RAMPS</p>	<p>404 DOORS, DOORWAYS AND GATES</p>	<p>403 WALKING SURFACES</p>	<p>306 KNEE AND TOE CLEARANCE</p>

WALL TYPES



WALL TYPES					
WALL TYPE	THICK	STUD	SPACING	INSULATION TYPE	GYP. B.D. # & LOCATION
S4d	4 7/8"	3 5/8"	16" TYP.	SOUND BATT	ONE LAYER GYP. BD. EA. SIDE
S6c	6 5/8"	6"	16" TYP.	SOUND BATT	ONE LAYER GYP. BD. FINISH SIDE
S8d	9 1/4"	8"	16" TYP.	SOUND BATT	ONE LAYER GYP. BD. EA. SIDE

CEILING TYPES

C1ACOUSTIC CEILING

1

2

1. SUSPENSION TEE AND WIRE

2. ACOUSTIC CEILING TILE (SEE FINISH SCHEDULE)

NOTES:

- A. DO NOT SCALE DRAWINGS
- B. REFER TO ELECTRICAL / FIRE ALARM DRAWINGS FOR ADDITIONAL LIFE SAFETY INFORMATION AND DEVICE REQUIREMENTS.
- C. FIRE PROTECTION SYSTEM IS NFPA 13 FULL SPRINKLER SYSTEM.
- D. PROVIDE PORTABLE FIRE EX. IN ACCORDANCE W/ INTERMEDIATE FIRE CODE DURING DEMOLITION AND CONSTRUCTION.
- E. EGRESS CAPACITY BASED ON CLEAR WIDTH OF DOOR MINUS 2" FOR SINGLE DOORS, 4" FOR DOUBLE DOORS.
- F. EGRESS ILLUMINATION: ILLUMINATION OF MEANS OF EGRESS AND EMERGENCY LIGHTING SHALL COMPLY WITH SECTIONS 1008.2.1 AND 1008.3.1 OF THE IBC.
- G. INTERIOR WALL AND CEILING FINISHES TO MEET FLAME SPREAD INDEX IN ACCORDANCE WITH ASTM E84 OR UL723 PER IBC 803.1.2 AND SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN THE FOLLOWING AS SPECIFIED IN TABLE 803.1.3. (SPRINKLERED)
 - a. INTERIOR EXIT STAIRWAYS AND EXIT PASSAGEWAYS:
 - B: CLASS B, 5-2: CLASS C, A-3: CLASS B
 - a. CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS:
 - B: CLASS C, 5-2: CLASS C, A-3: CLASS B
 - a. ROOMS AND ENCLOSED SPACES:
 - B: CLASS C, 5-2: CLASS C, A-3: CLASS C


SEE FLOOR PLANS FOR WALL CONSTRUCTION TAGS. SEE SHEET G SERIES SHEETS FOR INFORMATION ON WALL ASSEMBLIES


OCCUPANCY TAG									
NAME	B								
	CH10 F.O.S.								
	500 SF								
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	FBC	NFPA							
@2000	@2000								
NSF / GSF	NSF / GSF								
200 (400 SQUARE)	200 (400 SQUARE)								


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BC	NFPA
2000	@2000
/ GSF	NSF / GSF

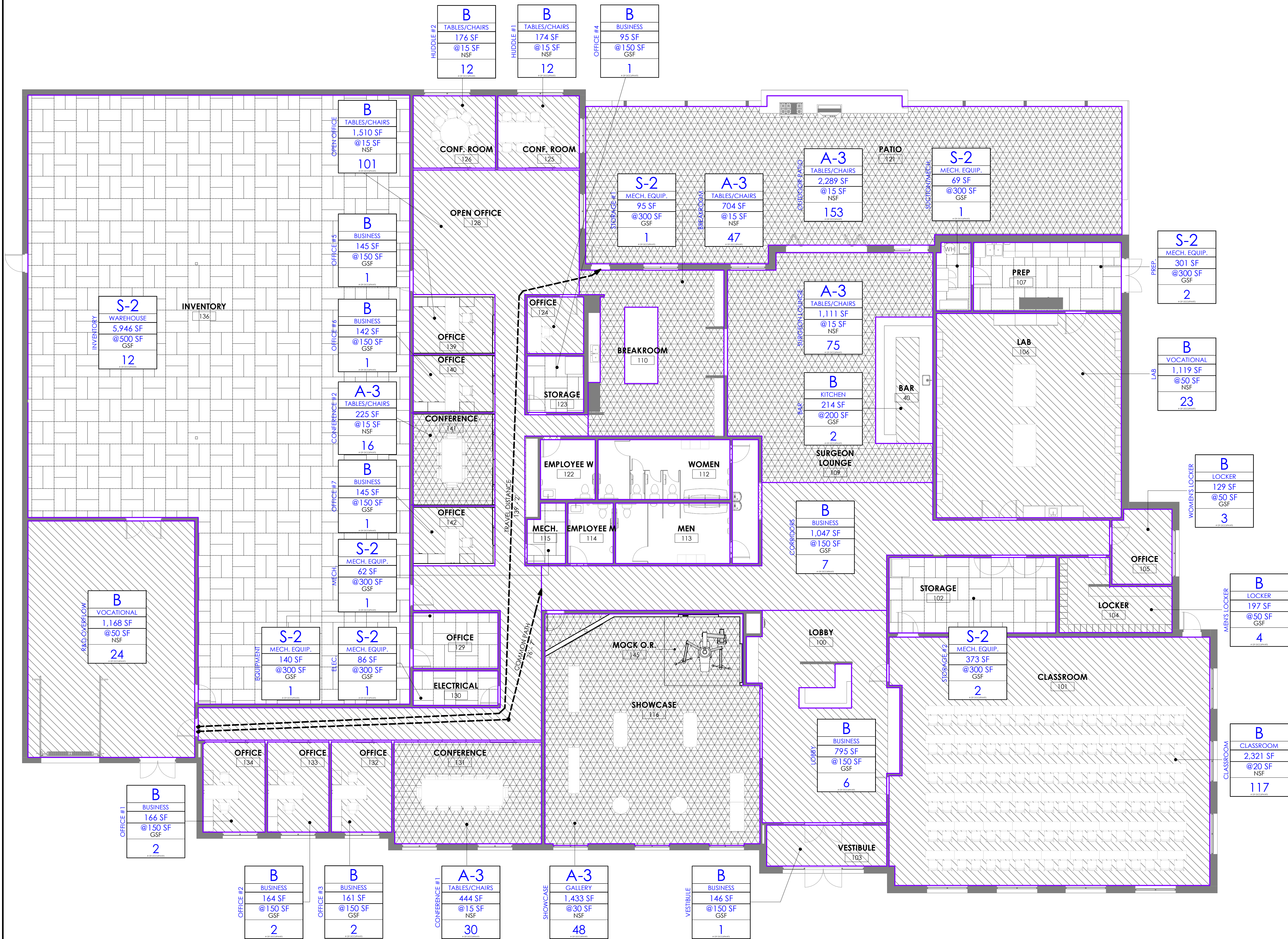
*DOOR TAG
BASED OFF OF IBC

OCCUPANCY HATCH LEGEND

 A-3

 B

 S-2

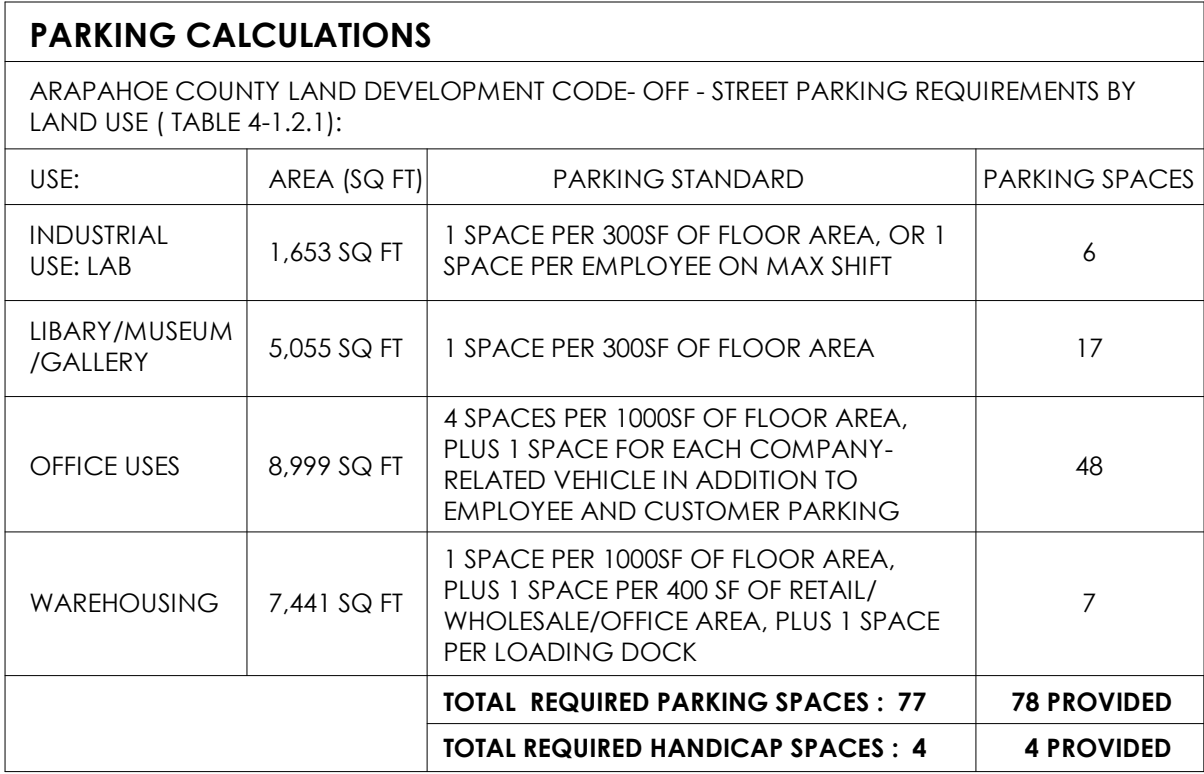


1 LIFE SAFETY PLAN
SCALE: 1/8" = 1'-0"

[illegible]

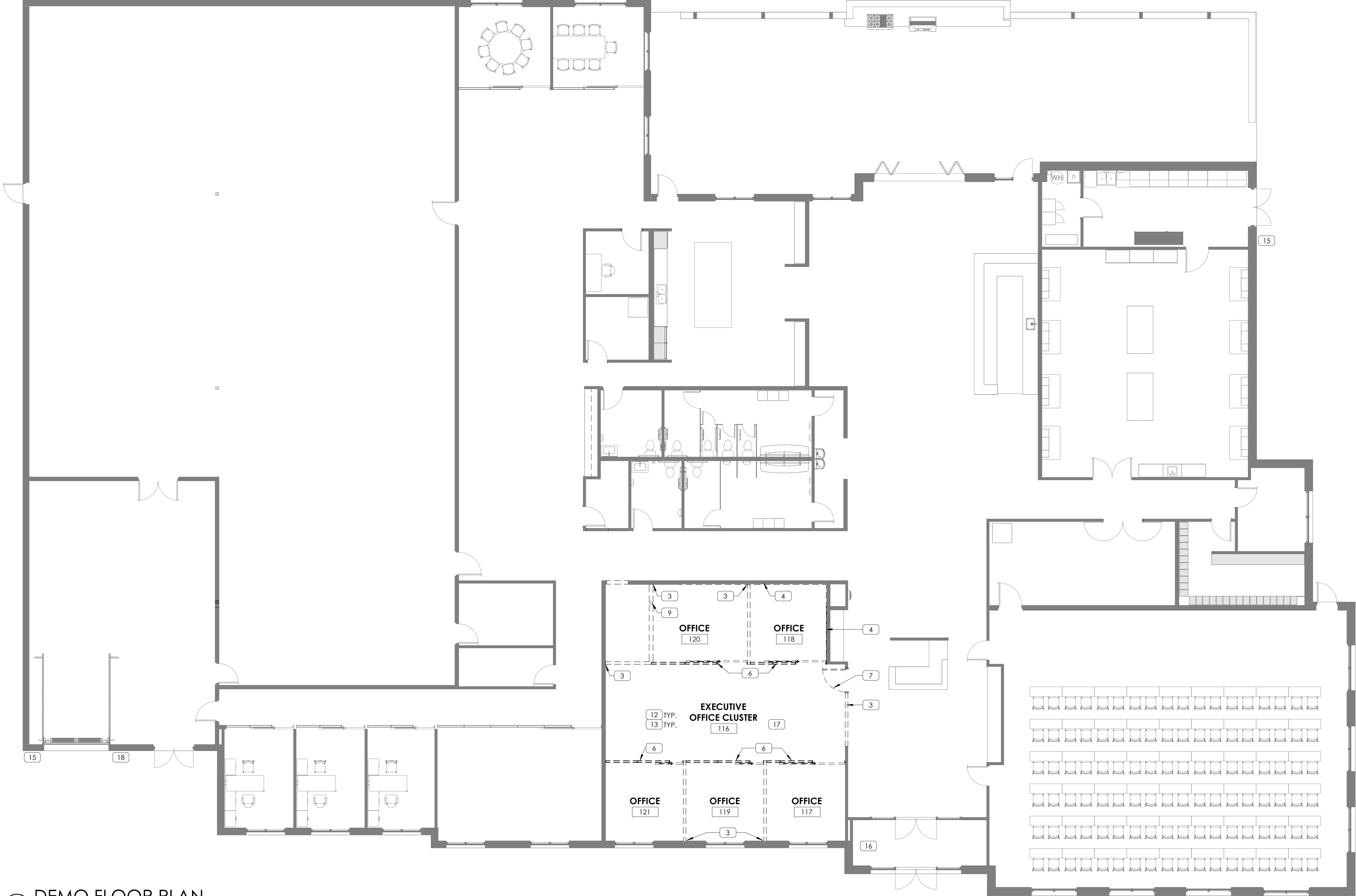
PHASE	PERMIT
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PA/PM	CH

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1 SITE PLAN

SCALE: 1/16" = 1'-0"



1 DEMO FLOOR PLAN
SCALE: 1/8" = 1'-0"

DEMOLITION PLAN GENERAL NOTES

- A. ALL ITEMS SHOWN WITH DASHED LINES, DASHED HATCHES, OR OTHER DASHED LINEWORK TO BE DEMOLISHED.
- B. ADDITIONAL DEMOLITION MAY BE NECESSARY IN PREPARATION FOR NEW FINISHES. SEE PROPOSED FINISH PLAN AND ELEVATIONS FOR FINISH INFORMATION.
- C. ADDITIONAL DEMOLITION NOT SHOWN ON THESE PLANS MAY BE NECESSARY TO RUN NEW MECHANICAL/ELECTRICAL/PLUMBING PER PROPOSED PLAN.
- D. ADDITIONAL DEMOLITION ANTICIPATED BUT NOT SHOWN ON THESE PLANS IS TO BE COMMUNICATED TO OWNER AND ARCHITECT AND INCLUDED IN CONTRACT PRICING.
- E. GC/DEMOLITION SUBCONTRACTOR TO NOTIFY OWNER AND ARCHITECT OF ANY ADDITIONAL DEMOLITION NOT SHOWN IN THESE DRAWINGS.
- F. ALL DEBRIS REMOVAL AND OFF SITE DISPOSAL TO BE INCLUDED IN DEMOLITION AND OVERALL GC CONTRACT PRICING.
- G. EXCLUSIONS FOR ANY DEMOLITION ITEMS MUST BE APPROVED BY OWNER AND ARCHITECT.
- H. GC TO NOTIFY OWNER AND ARCHITECT OF ANY DISCREPANCIES FROM THESE DRAWINGS PRIOR TO DEMOLITION OR DEMOLITION EXEMPTION.
- I. ALL DEBRIS SHALL BE REMOVED FROM SITE, DUMPSTER MAY BE LOCATED ON SITE, COORDINATE LOCATION WITH BUILDING OWNER.
- J. G.C. TO ABIDE BY ALL OSHA GUIDELINES DURING THE DEMOLITION PROCESS. A FOREMAN SHALL BE ONSITE AT ALL TIMES WHEN WORK IS TAKING PLACE.
- K. G.C. TO PROTECT ALL GLAZING FROM DAMAGE DURING ALL PHASES OF DEMOLITION, STAGING, AND CONSTRUCTION.
- L. G.C. TO PROVIDE PROTECTION FOR ALL PARTS OF THE BUILDING, THEIR CONTENTS, AND OCCUPANTS WHEREVER WORK UNDER THIS CONTRACT IS PERFORMED. ANY DAMAGE DURING WORK IS TO BE REPAIRED BY THE CONTRACTOR TO MATCH EXISTING OR THE NEW WORK BEING DONE.
- M. DIMENSIONS ARE TO FINISH FACE OR FACE OF FRAMING MEMBER, UNLESS NOTED OTHERWISE.

PLAN KEYNOTES - DEMO

#	COMMENT
3	REMOVE PORTION OF EXISTING FRAMING AND DRYWALL; PATCH AND REPAIR ADJACENT DRYWALL AS REQUIRED FOR UNDETECTABLE REPAIR
4	REMOVE PORTION OF EXISTING DRYWALL
6	EXISTING STOREFRONT SYSTEMS TO BE REMOVED AND SALVAGE FOR POSSIBLE REUSE, HAND OVER TO OWNER IF UNUSED; PATCH AND REPAIR ADJACENT DRYWALL AS REQUIRED FOR UNDETECTABLE REPAIR
7	REMOVE PORTION OF EXISTING FRAMING AND DRYWALL; PATCH AND REPAIR ADJACENT DRYWALL AS REQUIRED FOR UNDETECTABLE REPAIR
9	EXISTING STRUCTURAL COLUMNS TO REMAIN
12	REMOVE PORTION OF EXISTING WALL BASE AS REQUIRED; PATCH AND REPAIR WALL WITH LIKE CONSTRUCTION AND PREP SURFACE FOR NEW WALL BASE
13	REMOVE EXISTING CARPET AND ITS ASSOCIATED ADHESIVE IN PREPARATION OF NEW FLOOR FINISH; PATCH AND REPAIR CONCRETE FLOOR SLAB WITH LIKE CONSTRUCTION AND PREP SURFACE FOR NEW FLOOR FINISH
15	EXISTING FIRE DEPT. HOOK-UP TO REMAIN
16	EXISTING FIRE ANNUNCIATOR PANEL TO REMAIN
17	EXISTING DUPLEX FLOOR OUTLET TO REMAIN; ENSURE COVER PLATE IS IN GOOD CONDITION, REPLACE AS REQUIRED
18	EXISTING FIRE CONTROL PANEL AND KNOX BOX TO REMAIN

DEMOLITION PLAN LEGEND

- ELEMENTS TO BE REMOVED
----- ELEMENTS TO REMAIN
===== EXISTING WALL/ELEMENT TO REMAIN

1 DEMO REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



DEMOLITION RCP GENERAL NOTES

- A. ALL ITEMS SHOWN WITH DASHED LINES, DASHED HATCHES, OR OTHER DASHED LINEWORK TO BE DEMOLISHED.
- B. ADDITIONAL DEMOLITION MAY BE NECESSARY IN PREPARATION FOR NEW FINISHES. SEE PROPOSED FINISH PLAN AND ELEVATIONS FOR FINISH INFORMATION.
- C. ADDITIONAL DEMOLITION NOT SHOWN ON THESE PLANS MAY BE NECESSARY TO RUN NEW MECHANICAL/ELECTRICAL/PLUMBING PER PROPOSED PLAN.
- D. ADDITIONAL DEMOLITION ANTICIPATED BUT NOT SHOWN ON THESE PLANS IS TO BE COMMUNICATED TO OWNER AND ARCHITECT AND INCLUDED IN CONTRACT PRICING.
- E. GC/DEMOLITION SUBCONTRACTOR TO NOTIFY OWNER AND ARCHITECT OF ANY ADDITIONAL DEMOLITION NOT SHOWN IN THESE DRAWINGS.
- F. ALL DEBRIS REMOVAL AND OFF SITE DISPOSAL TO BE INCLUDED IN DEMOLITION AND OVERALL GC CONTRACT PRICING.
- G. EXCLUSIONS FOR ANY DEMOLITION ITEMS MUST BE APPROVED BY OWNER AND ARCHITECT.
- H. GC TO NOTIFY OWNER AND ARCHITECT OF ANY DISCREPANCIES FROM THESE DRAWINGS PRIOR TO DEMOLITION OR DEMOLITION EXEMPTION.
- I. ALL DEBRIS SHALL BE REMOVED FROM SITE. DUMPSTER MAY BE LOCATED ON SITE, COORDINATE LOCATION WITH BUILDING OWNER.
- J. G.C. TO ABIDE BY ALL OSHA GUIDELINES DURING THE DEMOLITION PROCESS. A FOREMAN SHALL BE ONSITE AT ALL TIMES WHEN WORK IS TAKING PLACE.
- K. G.C. TO PROTECT ALL GLAZING FROM DAMAGE DURING ALL PHASES OF DEMOLITION, STAGING, AND CONSTRUCTION.
- L. G.C. TO PROVIDE PROTECTION FOR ALL PARTS OF THE BUILDING, THEIR CONTENTS, AND OCCUPANTS WHEREVER WORK UNDER THIS CONTRACT IS PERFORMED. ANY DAMAGE DURING WORK IS TO BE REPAIRED BY THE CONTRACTOR TO MATCH EXISTING OR THE NEW WORK BEING DONE.
- M. DIMENSIONS ARE TO FINISH FACE OR FACE OF FRAMING MEMBER, UNLESS NOTED OTHERWISE.
- N. EXISTING ELETRICAL PANELS TO REMAIN.
- O. DIMENSIONS FOR ELECTRICAL AND MECHANICAL FIXTURES AND DEVICES ARE TO FINISH FACE OF WALL AND CENTERLINE OF FIXTURE, UNLESS NOTED OTHERWISE.
- P. DIMENSIONS FOR CEILING SOFFITS AND HEADERS ARE TO FACE OF CMU, CONCRETE, OR FINISH FACE, UNLESS NOTED OTHERWISE.
- Q. REPLACE ANY DAMAGED OR SOILED CEILING TILES IN AREAS OF WORK

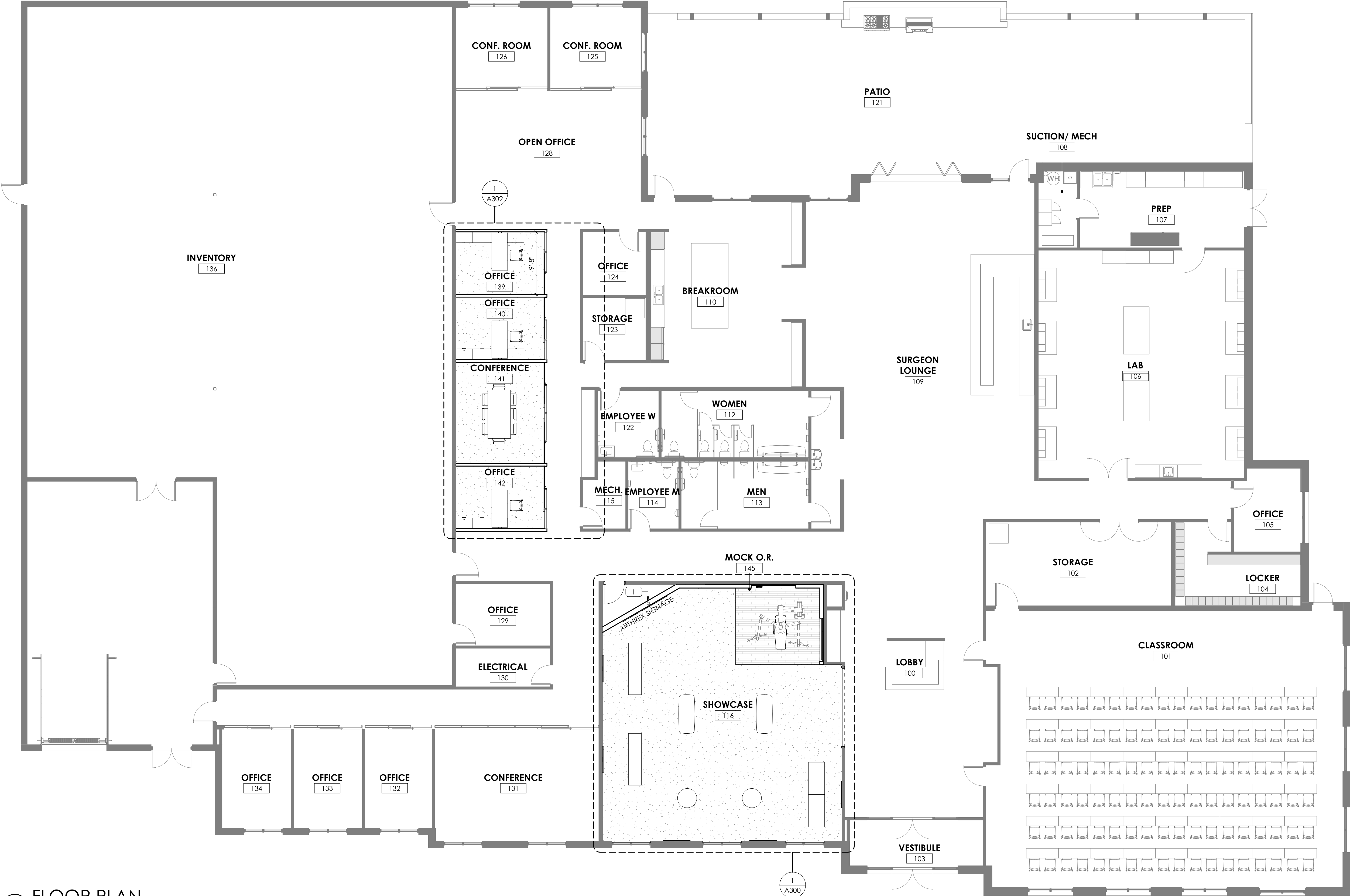
RCP KEYNOTES - DEMO

#	COMMENT
1	REMOVE EXISTING SUSPENDED CEILING SYSTEM IN ITS ENTIRETY; SALVAGE CEILING TILES FOR POSSIBLE REUSE, HAND OVER UNUSED CEILING TILES TO OWNER; PATCH AND REPAIR ADJACENT WALLS AS REQUIRED FOR UNDETECTABLE REPAIR
2	REMOVE EXISTING MECHANICAL DIFFUSERS, SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
3	REMOVE EXISTING LIGHT FIXTURES AND CEILING MOUNTED DEVICES, SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION; SALVAGE FIXTURES FOR POSSIBLE REUSE, HAND OVER UNUSED LIGHT EIXTURES TO OWNER.

RCP LEGEND

	ELEMENTS TO BE REMOVED
	ELEMENTS TO REMAIN
	EXISTING WALL/ELEMANT TO REMAIN
ELECTRICAL	
	DOWNLIGHT
	EXTERIOR SCONCE UP/DOWN CYLINDER
	EXTERIOR WALL PACK LIGHT
	CEILING POWER
	RECESSED CAN LIGHT
	LED SPOT LIGHT
	WALL ART LIGHTING
	LINEAR LED STRIPLIGHT
	LINEAR LED PENDANT LIGHT
	2X4 LED INDIRECT TROFFER FIXTURE
CEILING FINISH	
	2'X2' ACT SYSTEM TO REMAIN
	GYPSUM WALL BOARD CEILNIG - SEE KEYNOTES FOR MORE INFO
	OPEN CEILING - SEE KEYNOTES FOR MORE INFO
	2'X2' ACT CEILING SYSTEM TO BE DEMOLISHED, SEE KEYNOTES FOR MORE INFO

1 FLOOR PLAN
SCALE: 1/8" = 1'-0"



FLOOR PLAN GENERAL NOTES

- A. G.C. TO PROVIDE PROTECTION FOR ALL PARTS OF THE BUILDING, THEIR CONTENTS, AND OCCUPANTS WHEREVER WORK UNDER THIS CONTRACT IS PERFORMED. ANY DAMAGE DURING WORK IS TO BE REPAIRED BY THE CONTRACTOR TO MATCH EXISTING OR THE NEW WORK BEING DONE.
- B. PROVIDE MOISTURE RESISTANT GYP. WALLBOARD AT ALL WET LOCATIONS.
- C. ALL DOORS TO BE LOCATED 4" FROM PERPENDICULAR WALL U.N.O.
- D. PROVIDE BLOCKING AND BACKING IN WALLS AND NEW PARTITIONS FOR ALL CASEWORK, SHELVING, COUNTERTOPS, TOILET ACCESSORIES, AND OWNER SUPPLIED EQUIPMENT. COORDINATE WITH SHOP DRAWINGS.
- E. EXIT SIGNAGE & EMERGENCY LIGHTING, WILL BE EVALUATED FOR LOCATION & REQUIRED LIGHTING INTENSITY AT FINAL INSPECTION BY AUTHORITY HAVING JURISDICTION.
- F. G.C. SHALL FOLLOW ALL MANUFACTURERS GUIDELINES FOR INSTALLATION & CLEARANCE REQUIREMENTS FOR ALL EQUIPMENT INSTALLED IN SPACE.
- G. G.C. & OWNER SHALL PROVIDE A CURRENT & UPDATED MSDS PRIOR TO FINAL INSPECTION TO THE FIRE MARSHALL'S OFFICE OR TO ANY OTHER OFFICE HAVING JURISDICTION.
- H. DIMENSIONS ARE TO FINISH FACE OF EXISTING WALLS OR FACE OF FRAMING MEMBER OF NEW WALLS, UNLESS NOTED OTHERWISE.
- I. SEE INTERIOR DESIGN DRAWINGS FOR MORE INFORMATION.

PLAN KEYNOTES

#	COMMENT
1	EXISTING COLUMN TO REMAIN
2	DISPLAY BY OTHERS; PROVIDE BLOCKING IN WALL BEHIND DISPLAY; COORDINATE MOUNTING HEIGHT WITH OWNER AND ELECTRICAL.
3	SIGNAGE; PROVIDE BLOCKING IN WAL BEHIND DISPLAY; COORDINATE MOUNTING HEIGHT WITH OWNER AND ELECTRICAL
4	SIMULATION O.R. BOOM - SKYTRON F120 & F330
5	NEW DISPLAY TABLES BY OWNER, SEE ELEVATION FOR MORE INFORMATION
6	FLATSCREEN TV BY OWNER

FLOOR PLAN LEGEND

- EXISTING WALL/ELEMENT TO REMAIN
- NEW FRAME WALL



1 REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"

RCP GENERAL NOTES

- A. G.C. TO PROVIDE PROTECTION FOR ALL PARTS OF THE BUILDING, THEIR CONTENTS, AND OCCUPANTS WHEREVER WORK UNDER THIS CONTRACT IS PERFORMED. ANY DAMAGE DURING WORK IS TO BE REPAIRED BY THE CONTRACTOR TO MATCH EXISTING OR THE NEW WORK BEING DONE.
- B. DIMENSIONS ARE TO FINISH FACE OF EXISTING WALLS OR FACE OF FRAMING MEMBER OF NEW WALLS, UNLESS NOTED OTHERWISE.
- C. VERIFY LOCATION OF NEW LIGHT FIXTURES PRIOR TO INSTALLATION TO AVOID CONFLICT OR DAMAGE TO EXISTING ELECTRICAL/ LIGHTING .
- D. NEW LIGHT FIXTURES TO BE ATTACHED TO BOTTOM OF THE SLAB/DECK.
- E. EXISTING ELETICAL PANELS TO REMAIN.
- F. EXIT SIGNAGE & EMERGENCY LIGHTING, WILL BE EVALUATED FOR LOCATION AND REQUIRED LIGHTING INTENSITY AT FINAL INSPECTION BY AUTHORITY HAVING JURISDICTION.
- G. DIMENSIONS FOR ELECTRICAL AND MECHANICAL FIXTURES AND DEVICES ARE TO FINISH FACE OF WALL AND CENTERLINE OF FIXTURE, UNLESS NOTED OTHERWISE.
- H. CEILING HEIGHTS ARE FROM SLAB, UNLESS NOTED OTHERWISE.
- I. ALL LIGHT FIXTURES ARE TO BE CENTERED WITHIN THE ROOM, UNLESS NOTED OTHERWISE.
- J. ADJUSTMENTS TO CEILING FIXTURE LOCATIONS REQUIRED DUE TO CEILING JOISTS OR OTHER BUILDING SYSTEMS CONFLICTS SHALL BE APPROVED BY OWNER/ARCHITECT.
- K. REFER TO ELECTRICAL DRAWINGS FOR FIXTURE SELECTIONS AND ADDITIONAL INFORMATION.
- L. REFER TO INTERIOR DESIGN DRAWINGS FOR ADDITIONAL INFORMATION ON CEILING FINISHES.

RCP KEYNOTES

#	COMMENT
1	EXISTING COLUMN TO REMAIN
2	FORMER LIGHT LOCATION TO BE REPLACED WITH NEW CEILING TILE
4	SIMULATION O.R. BOOM -SKYTRON F120 & F330

C.9

D

E

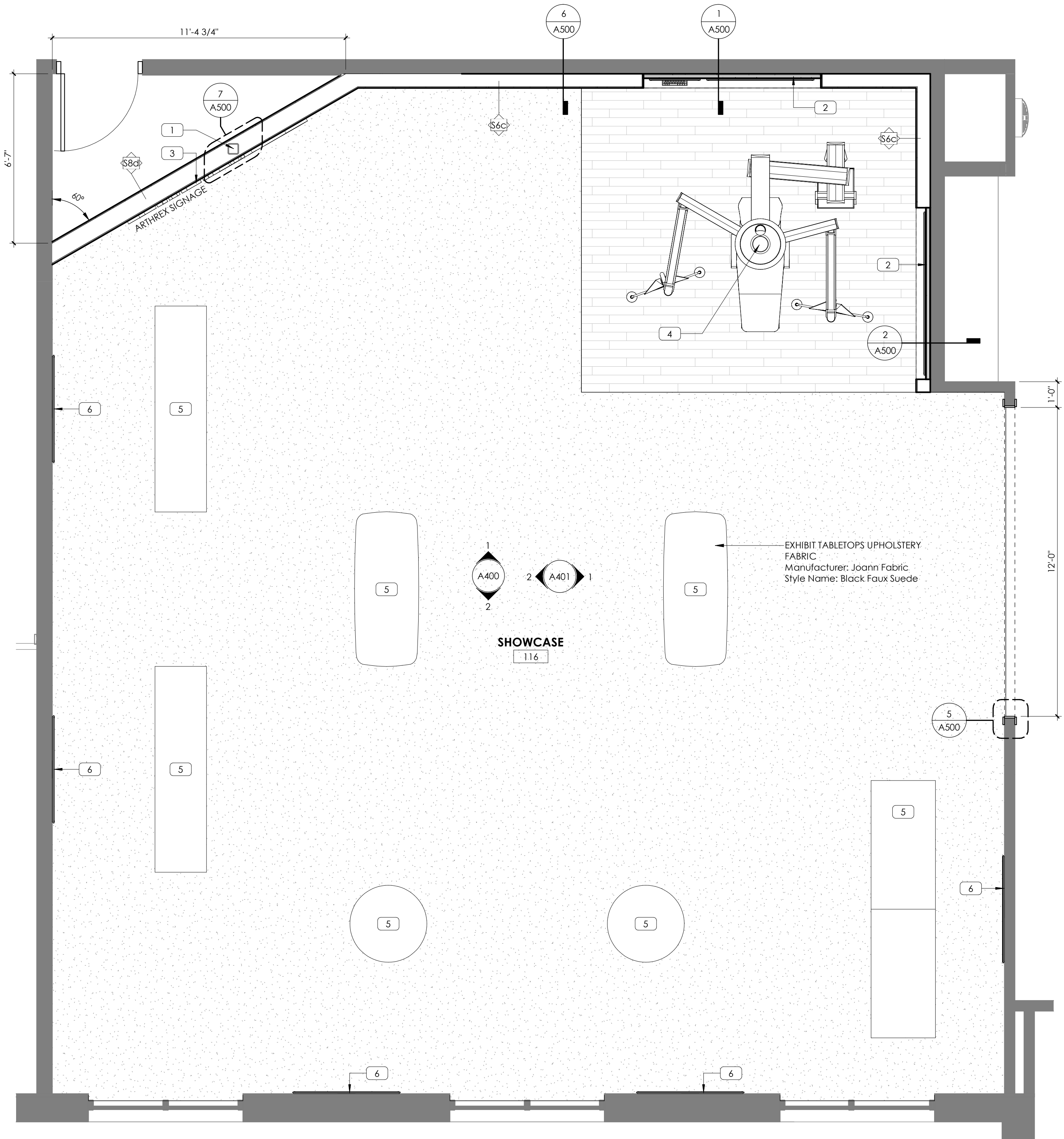
RCP LEGEND

- ELEMENTS TO REMAIN
EXISTING WALL/ELEMENT TO REMAIN

- ELECTRICAL
- DOWNLIGHT
 - EXTERIOR SCONCE UP/DOWN CYLINDER
 - EXTERIOR WALL PACK LIGHT
 - CEILING POWER
 - RECESSED CAN LIGHT
 - LED SPOT LIGHT
 - WALL ART LIGHTING
 - TRACK LIGHT
 - LINEAR LED STRIPLIGHT
 - LINEAR LED PENDANT LIGHT
 - 2'X4' LED INDIRECT TROFFER FIXTURE

CEILING FINISH

- NEW 2'X2' ACT CEILING SYSTEM, ALIGN AND MATCH EXISTING, SEE KEYNOTES FOR MORE INFO
- NEW 4'X4' ACT CEILING SYSTEM, ALIGN AND MATCH EXISTING, SEE KEYNOTES FOR MORE INFO
- GYPSUM WALL BOARD CEILNIG - SEE KEYNOTES FOR MORE INFO
- 2'X2' ACT SYSTEM TO REMAIN
- GYPSUM WALL BOARD CEILNIG - SEE KEYNOTES FOR MORE INFO
- OPEN CEILING - SEE KEYNOTES FOR MORE INFO



1 ENLARGED FLOOR PLAN - SHOWCASE
SCALE: 3/8" = 1'-0"

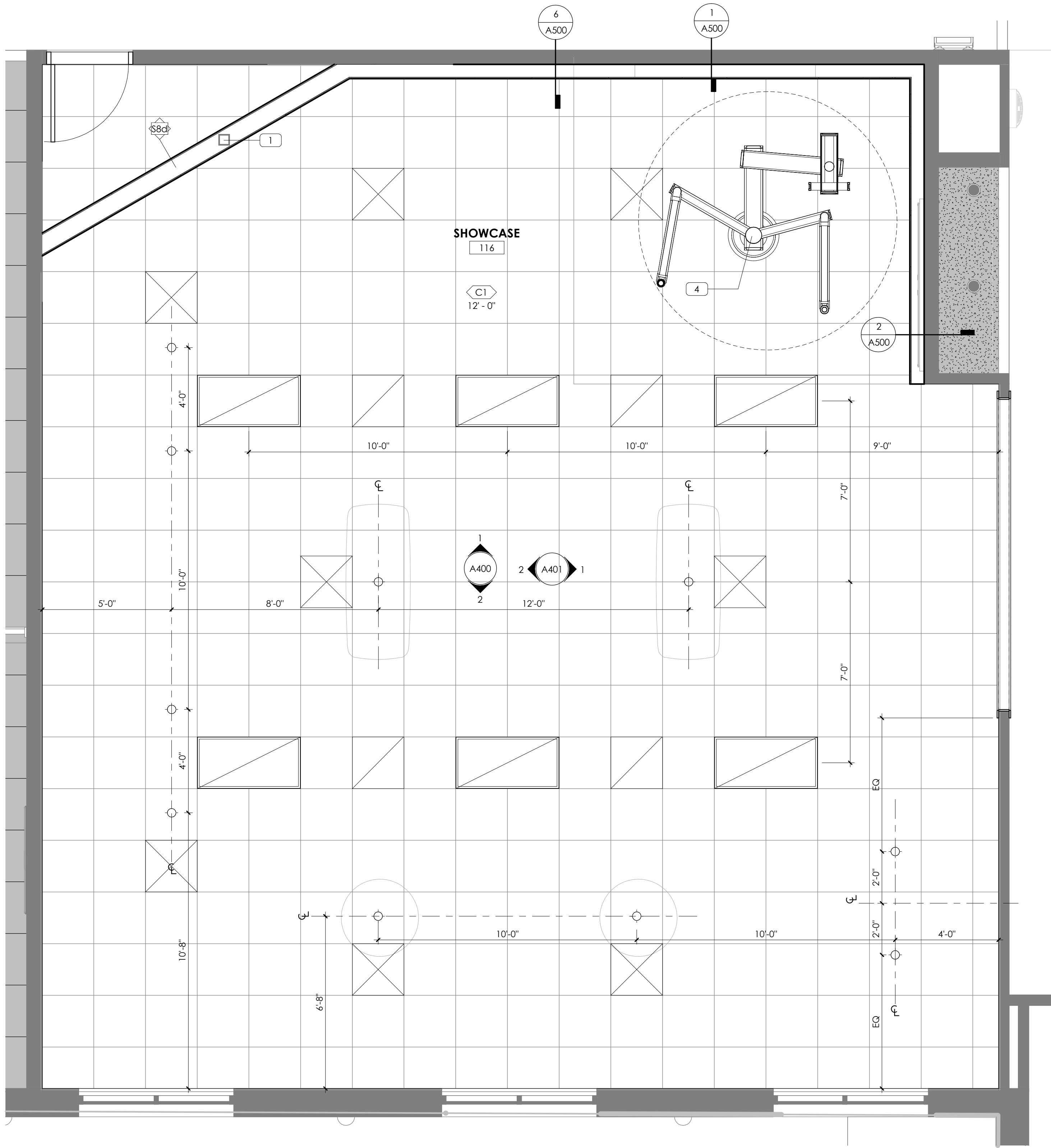
FLOOR PLAN GENERAL NOTES

- G.C. TO PROVIDE PROTECTION FOR ALL PARTS OF THE BUILDING, THEIR CONTENTS, AND OCCUPANTS WHEREVER WORK UNDER THIS CONTRACT IS PERFORMED. ANY DAMAGE DURING WORK IS TO BE REPAIRED BY THE CONTRACTOR TO MATCH EXISTING OR THE NEW WORK BEING DONE.
- PROVIDE MOISTURE RESISTANT GYP. WALLBOARD AT ALL WET LOCATIONS.
- ALL DOORS TO BE LOCATED 4" FROM PERPENDICULAR WALL U.N.O.
- PROVIDE BLOCKING AND BACKING IN WALLS AND NEW PARTITIONS FOR ALL CASEWORK, SHELVING, COUNTERTOPS, TOILET ACCESSORIES, AND OWNER SUPPLIED EQUIPMENT. COORDINATE WITH SHOP DRAWINGS.
- EXIT SIGNAGE & EMERGENCY LIGHTING, WILL BE EVALUATED FOR LOCATION & REQUIRED LIGHTING INTENSITY AT FINAL INSPECTION BY AUTHORITY HAVING JURISDICTION.
- G.C. SHALL FOLLOW ALL MANUFACTURERS GUIDELINES FOR INSTALLATION & CLEARANCE REQUIREMENTS FOR ALL EQUIPMENT INSTALLED IN SPACE.
- G.C. & OWNER SHALL PROVIDE A CURRENT & UPDATED MSDS PRIOR TO FINAL INSPECTION TO THE FIRE MARSHALL'S OFFICE OR TO ANY OTHER OFFICE HAVING JURISDICTION.
- DIMENSIONS ARE TO FINISH FACE OF EXISTING WALLS OR FACE OF FRAMING MEMBER OF NEW WALLS, UNLESS NOTED OTHERWISE.
- SEE INTERIOR DESIGN DRAWINGS FOR MORE INFORMATION.

FLOOR PLAN LEGEND

	EXISTING WALL/ELEMENT TO REMAIN
	NEW FRAME WALL

PLAN KEYNOTES	
#	COMMENT
1	EXISTING COLUMN TO REMAIN
2	DISPLAY BY OTHERS; PROVIDE BLOCKING IN WALL BEHIND DISPLAY; COORDINATE MOUNTING HEIGHT WITH OWNER AND ELECTRICAL.
3	SIGNAGE; PROVIDE BLOCKING IN WALL BEHIND DISPLAY; COORDINATE MOUNTING HEIGHT WITH OWNER AND ELECTRICAL
4	SIMULATION O.R. BOOM - SKYTRON FT20 & F330
5	NEW DISPLAY TABLES BY OWNER, SEE ELEVATION FOR MORE INFORMATION
6	FLATSCREEN TV BY OWNER



1 ENLARGED RCP - SHOWCASE
SCALE: 3/8" = 1'-0"

RCP GENERAL NOTES

- A. G.C. TO PROVIDE PROTECTION FOR ALL PARTS OF THE BUILDING, THEIR CONTENTS, AND OCCUPANTS WHEREVER WORK UNDER THIS CONTRACT IS PERFORMED. ANY DAMAGE DURING WORK IS TO BE REPAIRED BY THE CONTRACTOR TO MATCH EXISTING OR THE NEW WORK BEING DONE.
- B. DIMENSIONS ARE TO FINISH FACE OF EXISTING WALLS OR FACE OF FRAMING MEMBER OF NEW WALLS, UNLESS NOTED OTHERWISE.
- C. VERIFY LOCATION OF NEW LIGHT FIXTURES PRIOR TO INSTALLATION TO AVOID CONFLICT OR DAMAGE TO EXISTING ELECTRICAL/ LIGHTING .
- D. NEW LIGHT FIXTURES TO BE ATTACHED TO BOTTOM OF THE SLAB/DECK.
- E. EXISTING ELETRICAL PANELS TO REMAIN.
- F. EXIT SIGNAGE & EMERGENCY LIGHTING, WILL BE EVALUATED FOR LOCATION AND REQUIRED LIGHTING INTENSITY AT FINAL INSPECTION BY AUTHORITY HAVING JURISDICTION.
- G. DIMENSIONS FOR ELECTRICAL AND MECHANICAL FIXTURES AND DEVICES ARE TO FINISH FACE OF WALL AND CENTERLINE OF FIXTURE, UNLESS NOTED OTHERWISE.
- H. CEILING HEIGHTS ARE FROM SLAB, UNLESS NOTED OTHERWISE.
- I. ALL LIGHT FIXTURES ARE TO BE CENTERED WITHIN THE ROOM, UNLESS NOTED OTHERWISE.
- J. ADJUSTMENTS TO CEILING FIXTURE LOCATIONS REQUIRED DUE TO CEILING JOISTS OR OTHER BUILDING SYSTEMS CONFLICTS SHALL BE APPROVED BY OWNER/ARCHITECT.
- K. REFER TO ELECTRICAL DRAWINGS FOR FIXTURE SELECTIONS AND ADDITIONAL INFORMATION.
- L. REFER TO INTERIOR DESIGN DRAWINGS FOR ADDITIONAL INFORMATION PN CEILING FINISHES.

RCP LEGEND

- ELEMENTS TO REMAIN
— EXISTING WALL/ELEMANT TO REMAIN

ELECTRICAL

NOTE: SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION

- RECESSED CAN LIGHT
□ TRACK LIGHT
— LINEAR LED STRIPLIGHT
◇ DOWNLIGHT
□ 2'X4' LED INDIRECT TROFFER FIXTURE

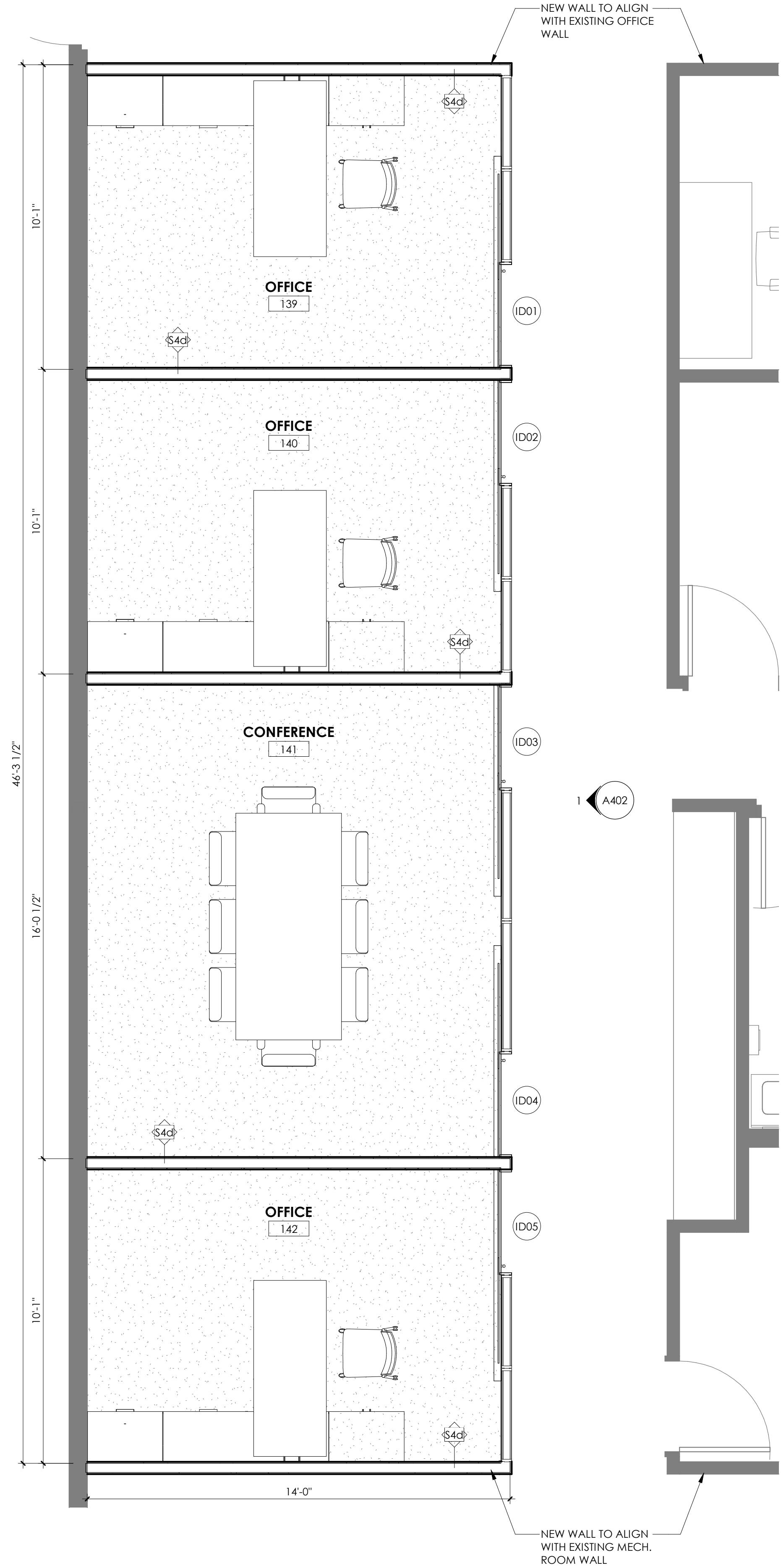
CEILING FINISH

- NEW 2'X2' ACT CEILING SYSTEM

RCP KEYNOTES

#	COMMENT
1	EXISTING COLUMN TO REMAIN
2	FORMER LIGHT LOCATION TO BE REPLACED WITH NEW CEILING TILE
4	SIMULATION O.R. BOOM -SKYTRON F120 & F330

1 ENLARGED FLOOR PLAN - OFFICES
SCALE: 3/8" = 1'-0"



FLOOR PLAN GENERAL NOTES

- A. G.C. TO PROVIDE PROTECTION FOR ALL PARTS OF THE BUILDING, THEIR CONTENTS, AND OCCUPANTS WHEREVER WORK UNDER THIS CONTRACT IS PERFORMED. ANY DAMAGE DURING WORK IS TO BE REPAIRED BY THE CONTRACTOR TO MATCH EXISTING OR THE NEW WORK BEING DONE.
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- C. ALL DOORS TO BE LOCATED 4" FROM PERPENDICULAR WALL U.N.O.
- D. PROVIDE BLOCKING AND BACKING IN WALLS AND NEW PARTITIONS FOR ALL CASEWORK, SHELVING, COUNTERTOPS, TOILET ACCESSORIES, AND OWNER SUPPLIED EQUIPMENT. COORDINATE WITH SHOP DRAWINGS.
- E. EXIT SIGNAGE & EMERGENCY LIGHTING, WILL BE EVALUATED FOR LOCATION & REQUIRED LIGHTING INTENSITY AT FINAL INSPECTION BY AUTHORITY HAVING JURISDICTION.
- F. G.C. SHALL FOLLOW ALL MANUFACTURERS GUIDELINES FOR INSTALLATION & CLEARANCE REQUIREMENTS FOR ALL EQUIPMENT INSTALLED IN SPACE.
- G. G.C. & OWNER SHALL PROVIDE A CURRENT & UPDATED MSDS PRIOR TO FINAL INSPECTION TO THE FIRE MARSHALL'S OFFICE OR TO ANY OTHER OFFICE HAVING JURISDICTION.
- H. DIMENSIONS ARE TO FINISH FACE OF EXISTING WALLS OR FACE OF FRAMING MEMBER OF NEW WALLS, UNLESS NOTED OTHERWISE.
- I. SEE INTERIOR DESIGN DRAWINGS FOR MORE INFORMATION.

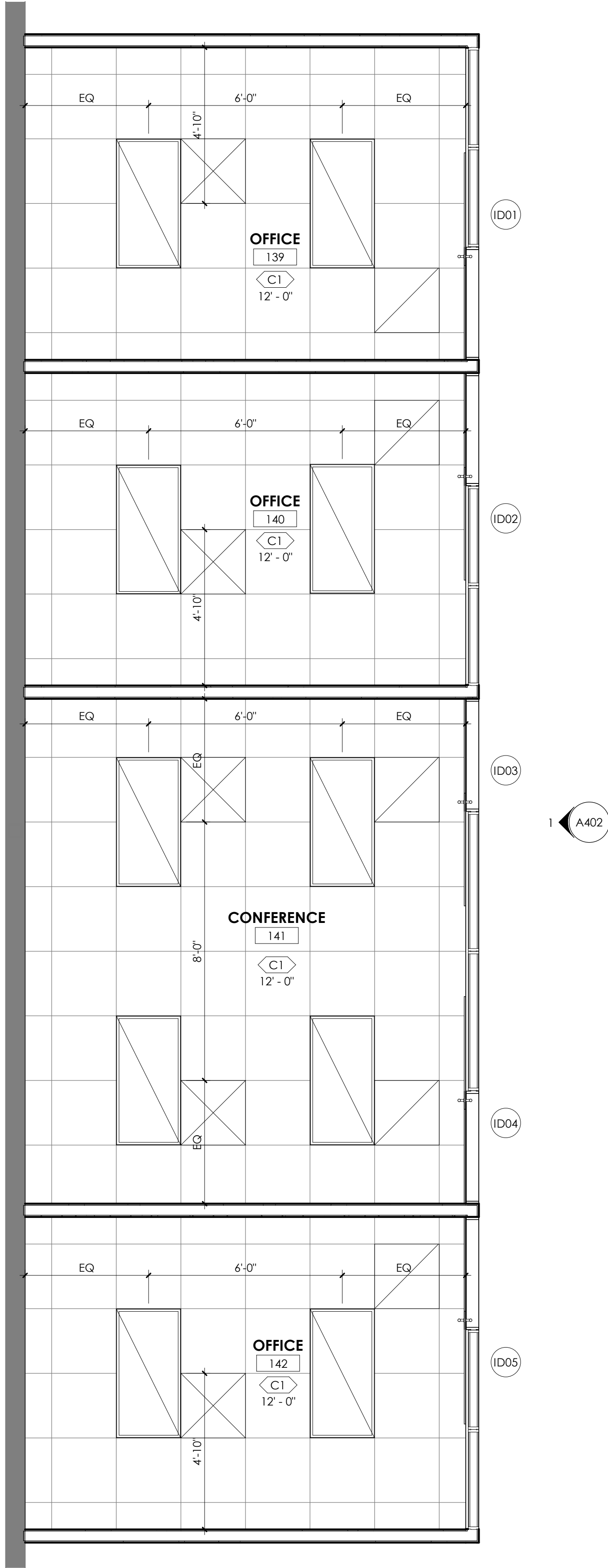
FLOOR PLAN LEGEND

- EXISTING WALL/ELEMENT TO REMAIN
- NEW FRAME WALL

1

ENLARGED RCP - OFFICES

SCALE: 3/8" = 1'-0"



RCP GENERAL NOTES

- A. G.C. TO PROVIDE PROTECTION FOR ALL PARTS OF THE BUILDING, THEIR CONTENTS, AND OCCUPANTS WHEREVER WORK UNDER THIS CONTRACT IS PERFORMED. ANY DAMAGE DURING WORK IS TO BE REPAIRED BY THE CONTRACTOR TO MATCH EXISTING OR THE NEW WORK BEING DONE.
- B. DIMENSIONS ARE TO FINISH FACE OF EXISTING WALLS OR FACE OF FRAMING MEMBER OF NEW WALLS, UNLESS NOTED OTHERWISE.
- C. VERIFY LOCATION OF NEW LIGHT FIXTURES PRIOR TO INSTALLATION TO AVOID CONFLICT OR DAMAGE TO EXISTING ELECTRICAL/ LIGHTING .
- D. NEW LIGHT FIXTURES TO BE ATTACHED TO BOTTOM OF THE SLAB/DECK.
- E. EXISTING ELETRICAL PANELS TO REMAIN.
- F. EXIT SIGNAGE & EMERGENCY LIGHTING, WILL BE EVALUATED FOR LOCATION AND REQUIRED LIGHTING INTENSITY AT FINAL INSPECTION BY AUTHORITY HAVING JURISDICTION.
- G. DIMENSIONS FOR ELECTRICAL AND MECHANICAL FIXTURES AND DEVICES ARE TO FINISH FACE OF WALL AND CENTERLINE OF FIXTURE, UNLESS NOTED OTHERWISE.
- H. CEILING HEIGHTS ARE FROM SLAB, UNLESS NOTED OTHERWISE.
- I. ALL LIGHT FIXTURES ARE TO BE CENTERED WITHIN THE ROOM, UNLESS NOTED OTHERWISE.
- J. ADJUSTMENTS TO CEILING FIXTURE LOCATIONS REQUIRED DUE TO CEILING JOISTS OR OTHER BUILDING SYSTEMS CONFLICTS SHALL BE APPROVED BY OWNER/ARCHITECT.
- K. REFER TO ELECTRICAL DRAWINGS FOR FIXTURE SELECTIONS AND ADDITIONAL INFORMATION.
- L. REFER TO INTERIOR DESIGN DRAWINGS FOR ADDITIONAL INFORMATION PN CEILING FINISHES.

RCP LEGEND

- ELEMENTS TO REMAIN
- EXISTING WALL/ELEMANT TO REMAIN

ELECTRICAL

NOTE: SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION

- RECESSED CAN LIGHT
- TRACK LIGHT
- LINEAR LED STRIPLIGHT
- ◇ DOWNLIGHT
- 2X4' LED INDIRECT TROFFER FIXTURE

CEILING FINISH

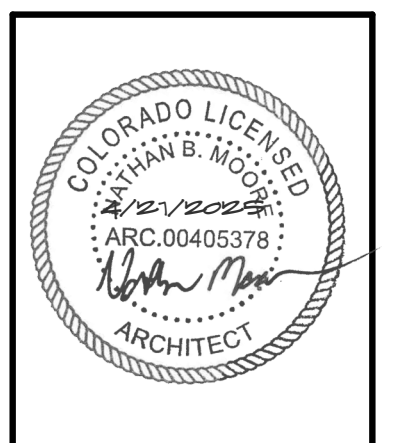
- NEW 2'X2' ACT CEILING SYSTEM

RCP KEYNOTES

#	COMMENT
1	EXISTING COLUMN TO REMAIN
2	FORMER LIGHT LOCATION TO BE REPLACED WITH NEW CEILING TILE
4	SIMULATION O.R. BOOM -SKYTRON F120 & F330

MARK ARCHITECTURE

**ARTHREX WEST RENOVATION
25 INVERNESS DRIVE EAST
ENGLEWOOD, CO 80112**

[illegible]

INTERIOR ELEVATIONS

PHASE	PERMIT
PR NO	24218
PA/PM	CH

A400

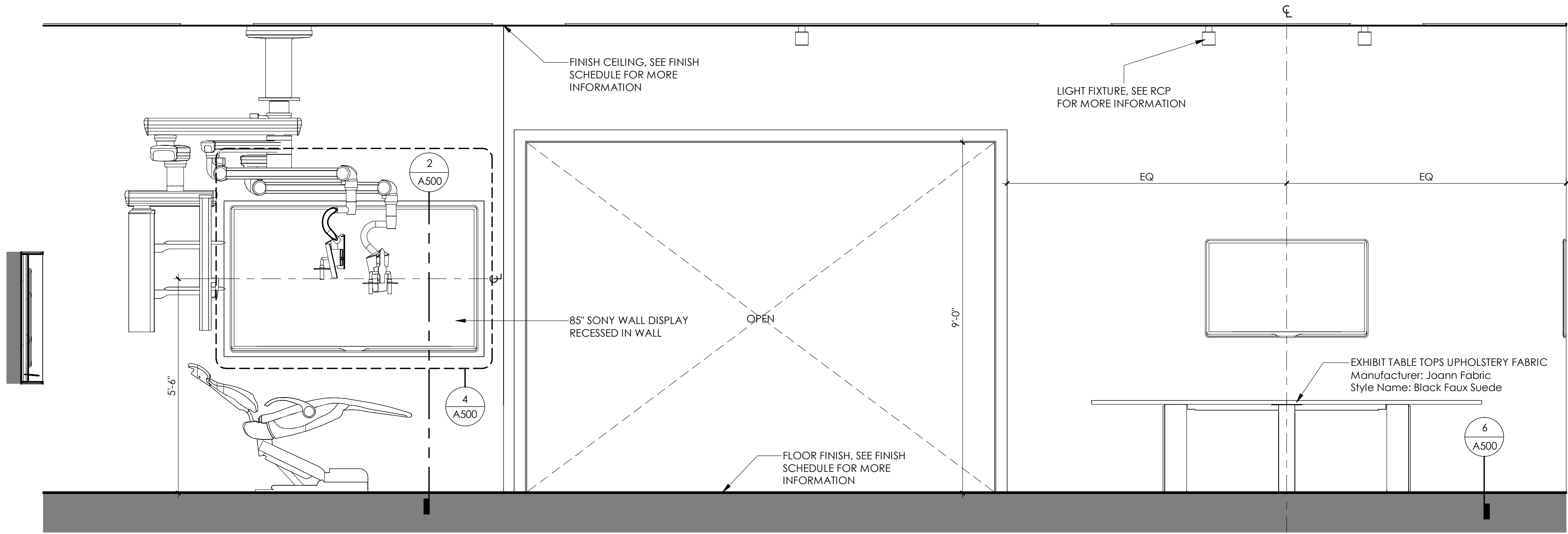


FINISHES GUIDE
FLOOR: CARPET TILE
MANUFACTURER: TARKETT
STYLE NAME: TANDUS ABRASIVE ACTION II (#02578)

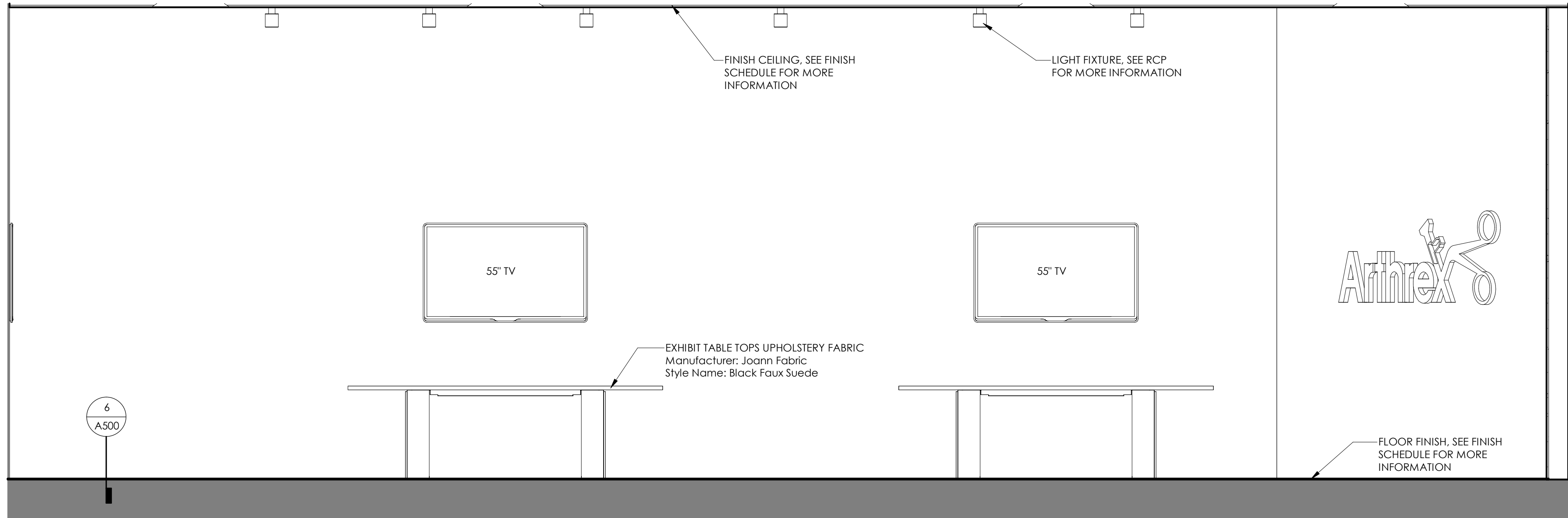
WALL: PAINT
MANUFACTURER: SHERWIN WILLIAMS
COLOR NAME: BLACK FOX (#SW 7020)

EXHIBIT TABLE TOP UPHOLSTERY FABRIC
MANUFACTURER: JOANN FABRIC
STYLE NAME: BLACK FAUX SUEDE

CEILING: ACOUSTICAL TILES
MANUFACTURER: ROCKFON
STYLE NAME: 20200 PATTERN-SONAR DB
DIMENSIONS: 2'x2'x1"



1 **SHOWCASE ELEVATION C**
SCALE: 1/2" = 1'-0"

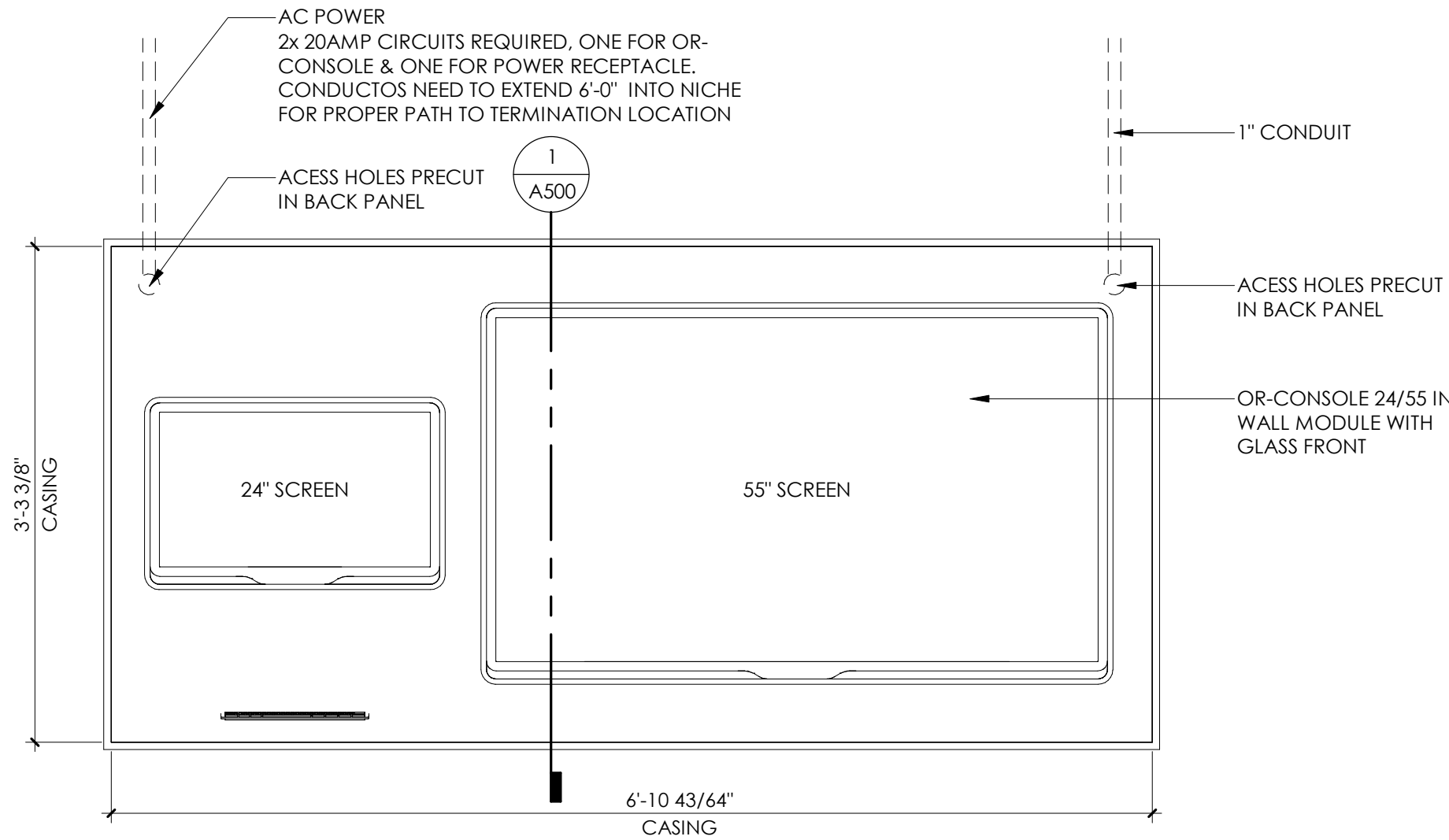


2 **SHOWCASE ELEVATION D**
SCALE: 1/2" = 1'-0"

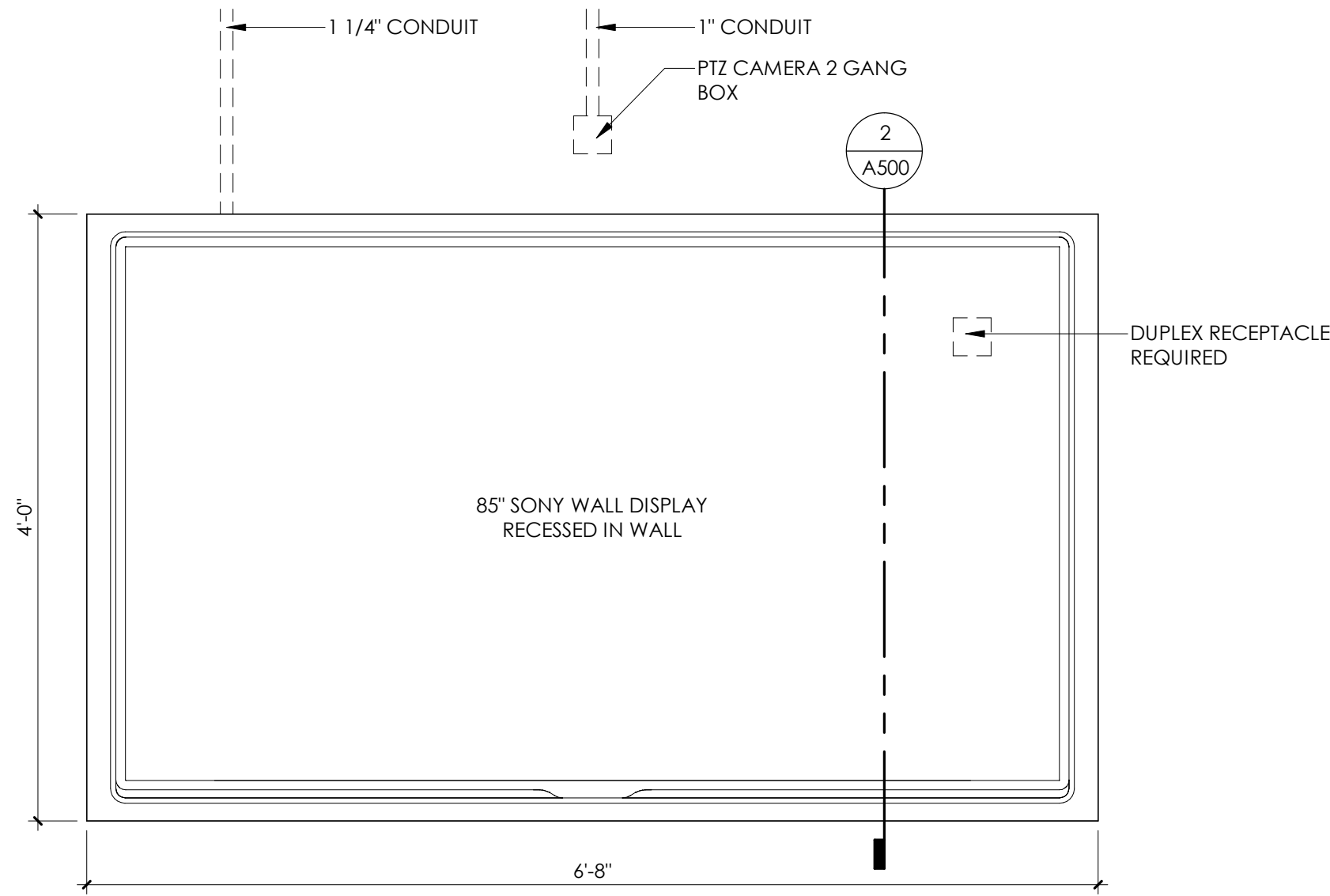
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PA/PM	CH

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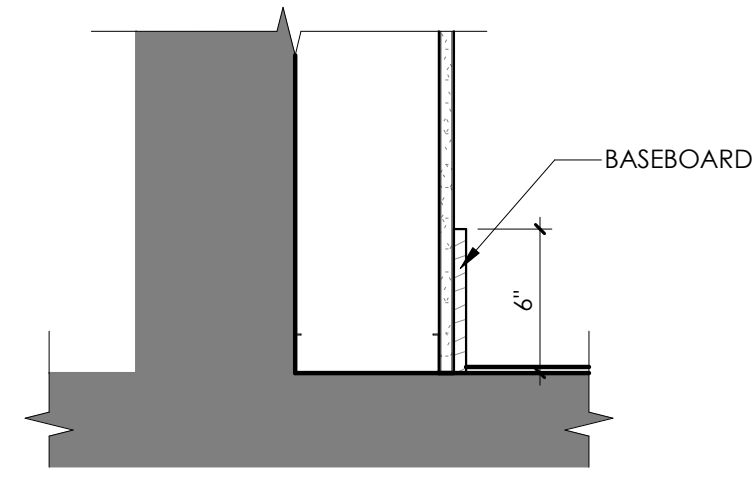
1 OFFICES ELEVATION A
SCALE: 3/8" = 1'-0"



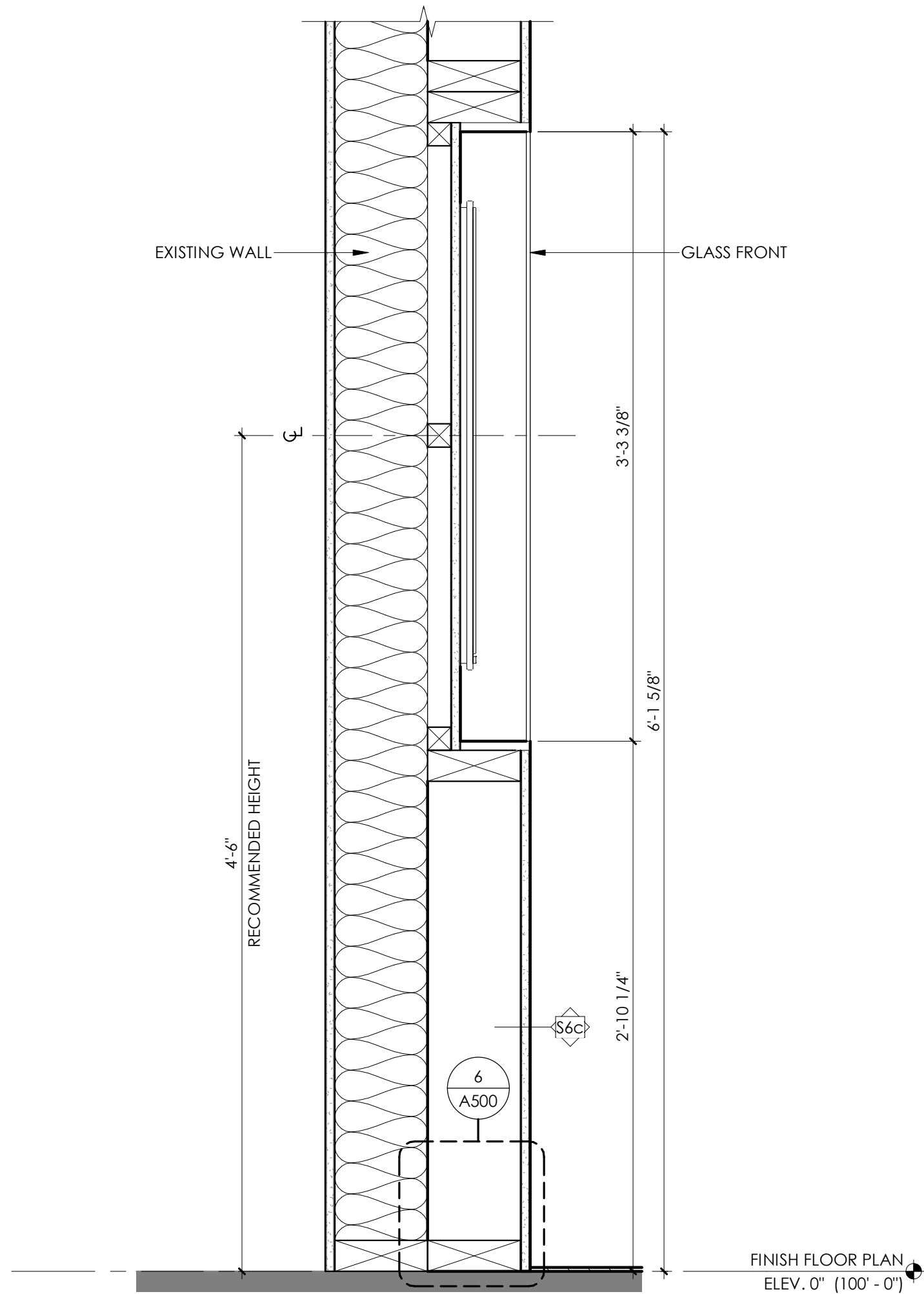
3 OR-CONSOLE ENLARGED VIEW
SCALE: 1" = 1'-0"



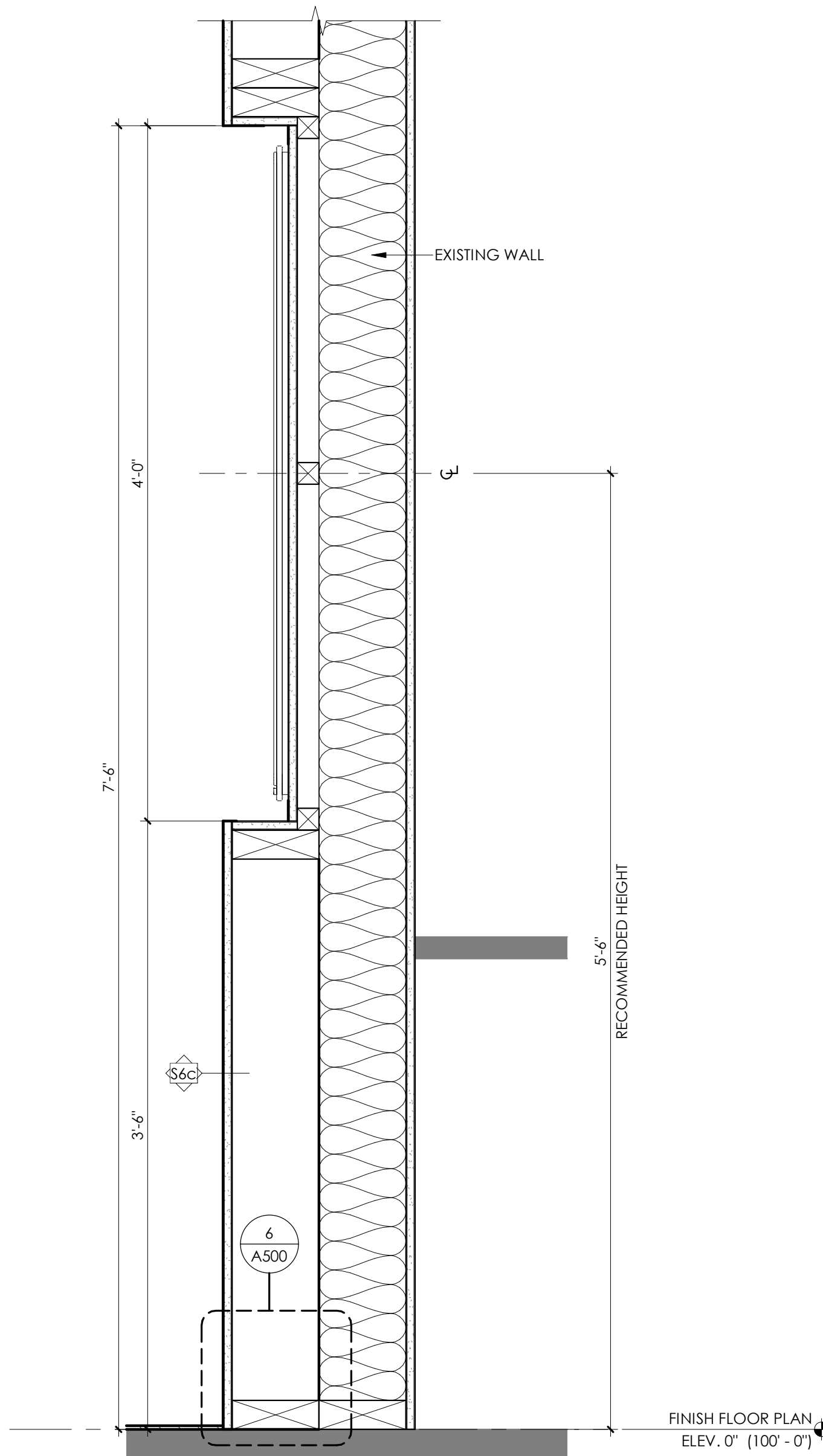
4 85" SONY DISPLAY
SCALE: 1" = 1'-0"



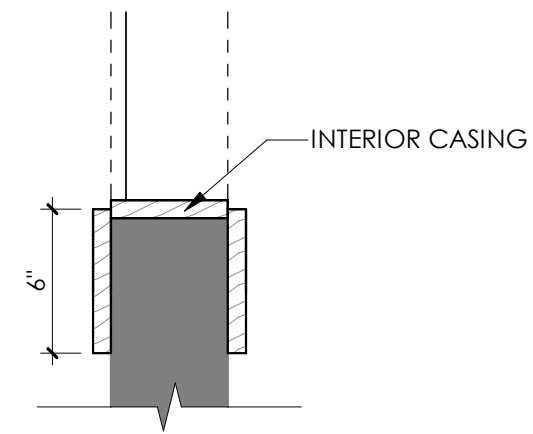
6 BASEBOARD DETAIL
SCALE: 1 1/2" = 1'-0"



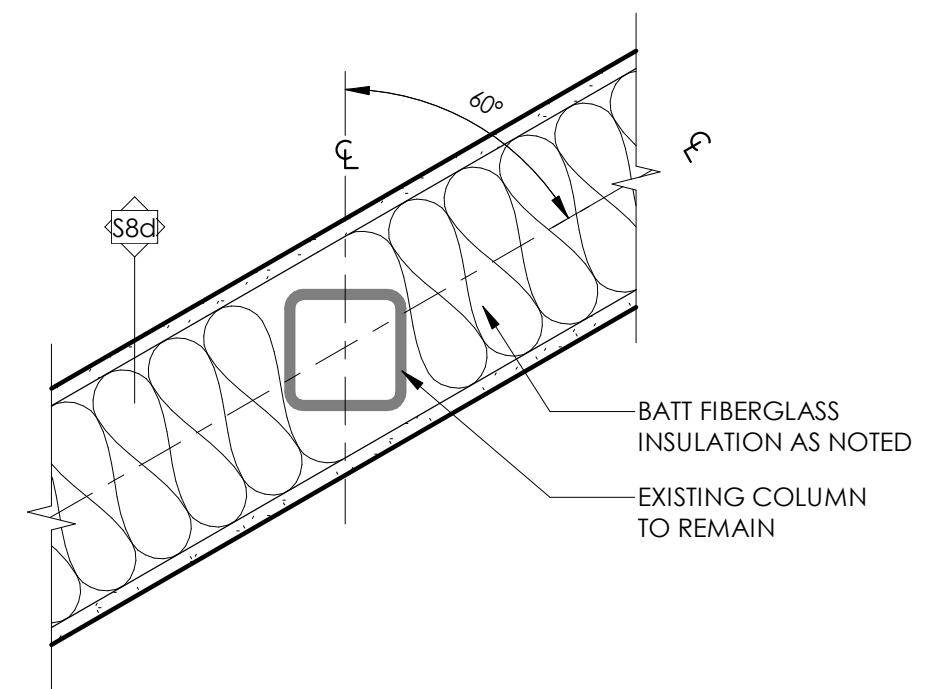
1 RECESSED OR CONSOLE
SCALE: 1 1/2" = 1'-0"



2 RECESSED TV
SCALE: 1 1/2" = 1'-0"

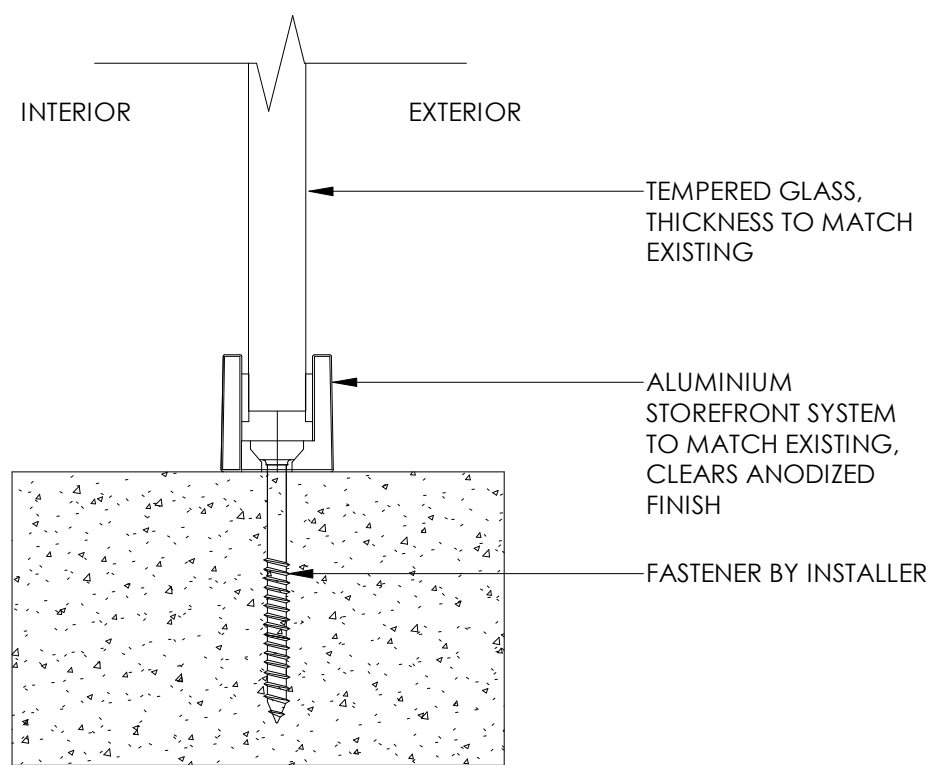
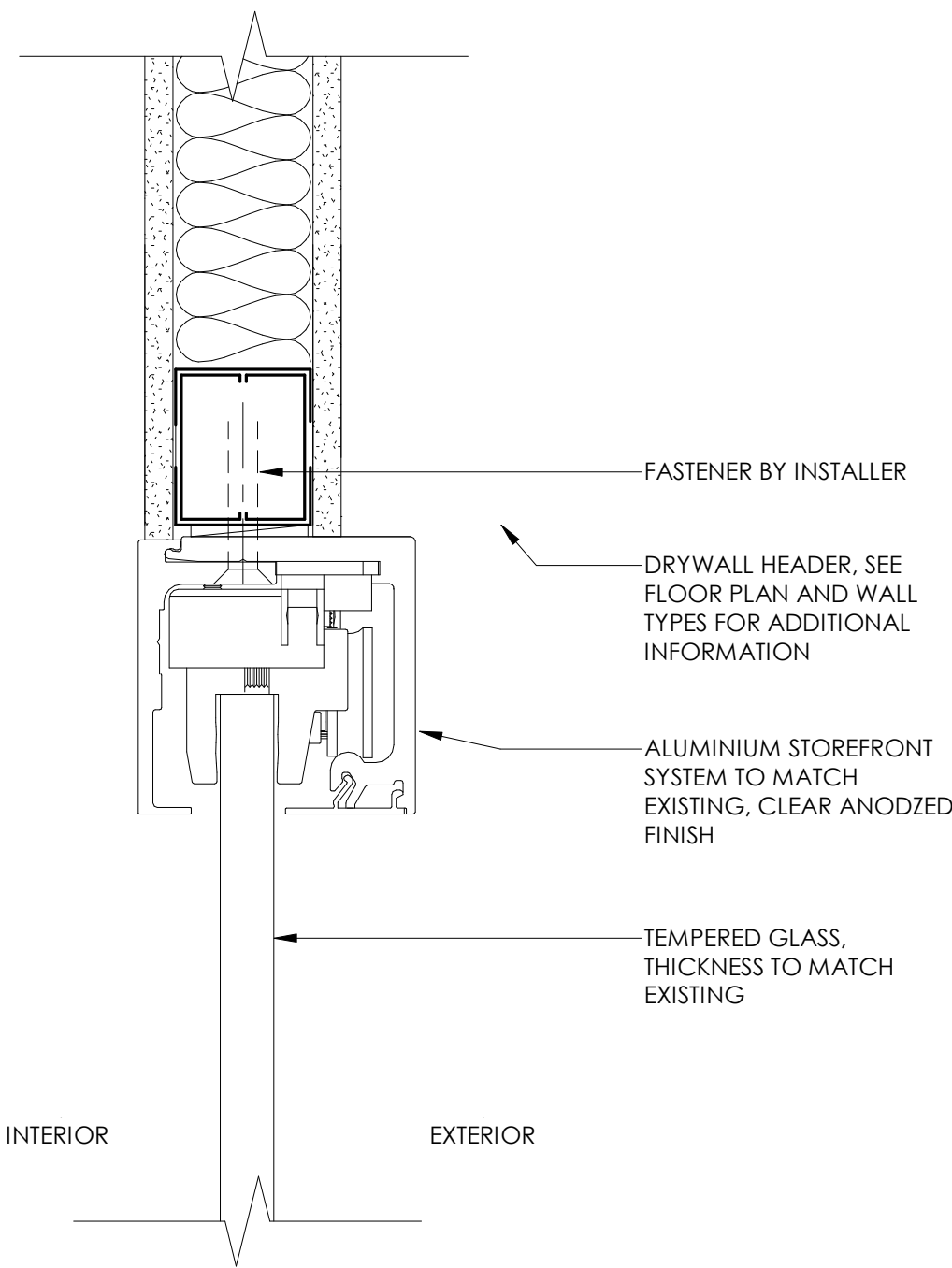


5 WALL OPENING DETAIL
SCALE: 1 1/2" = 1'-0"

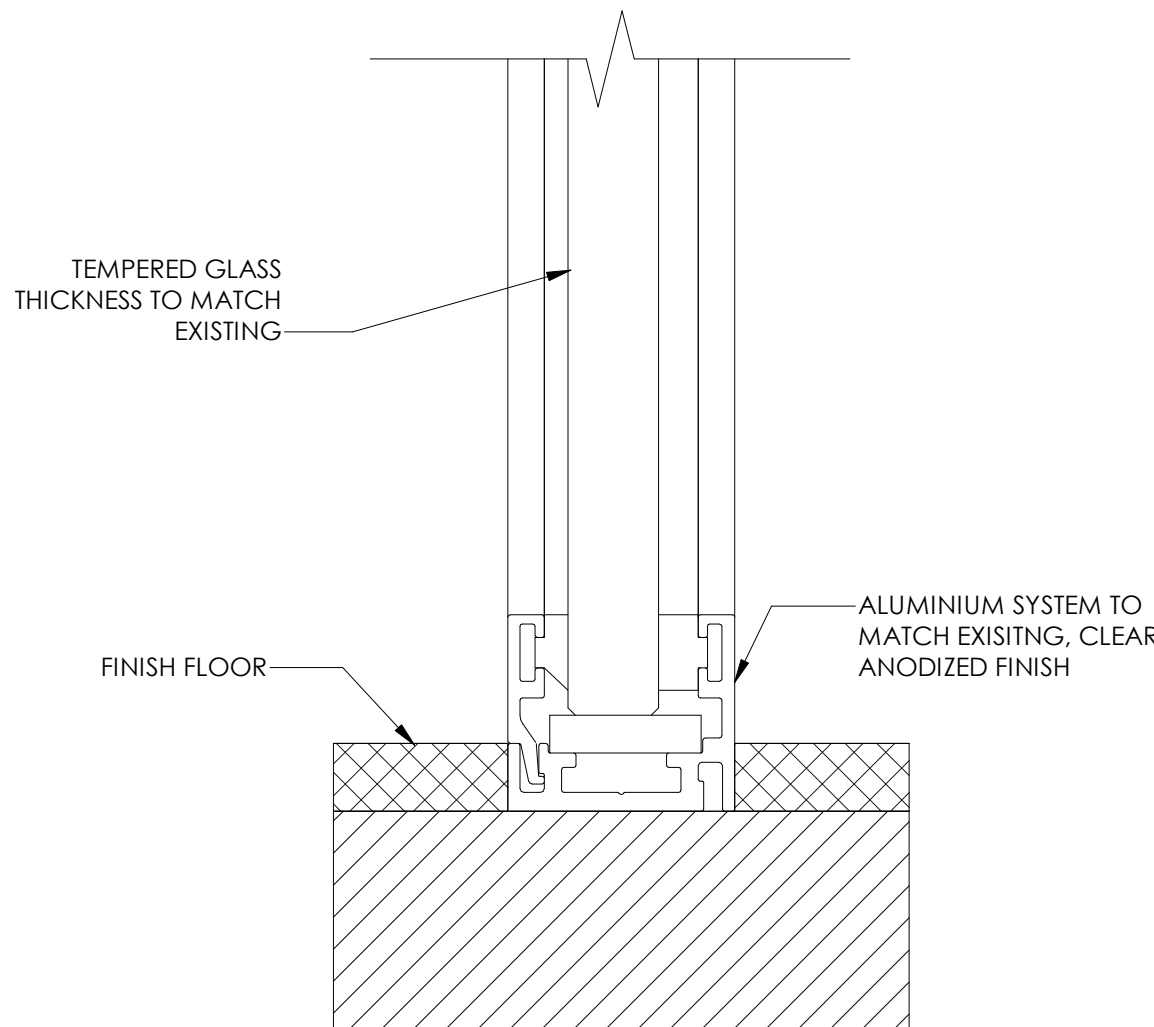
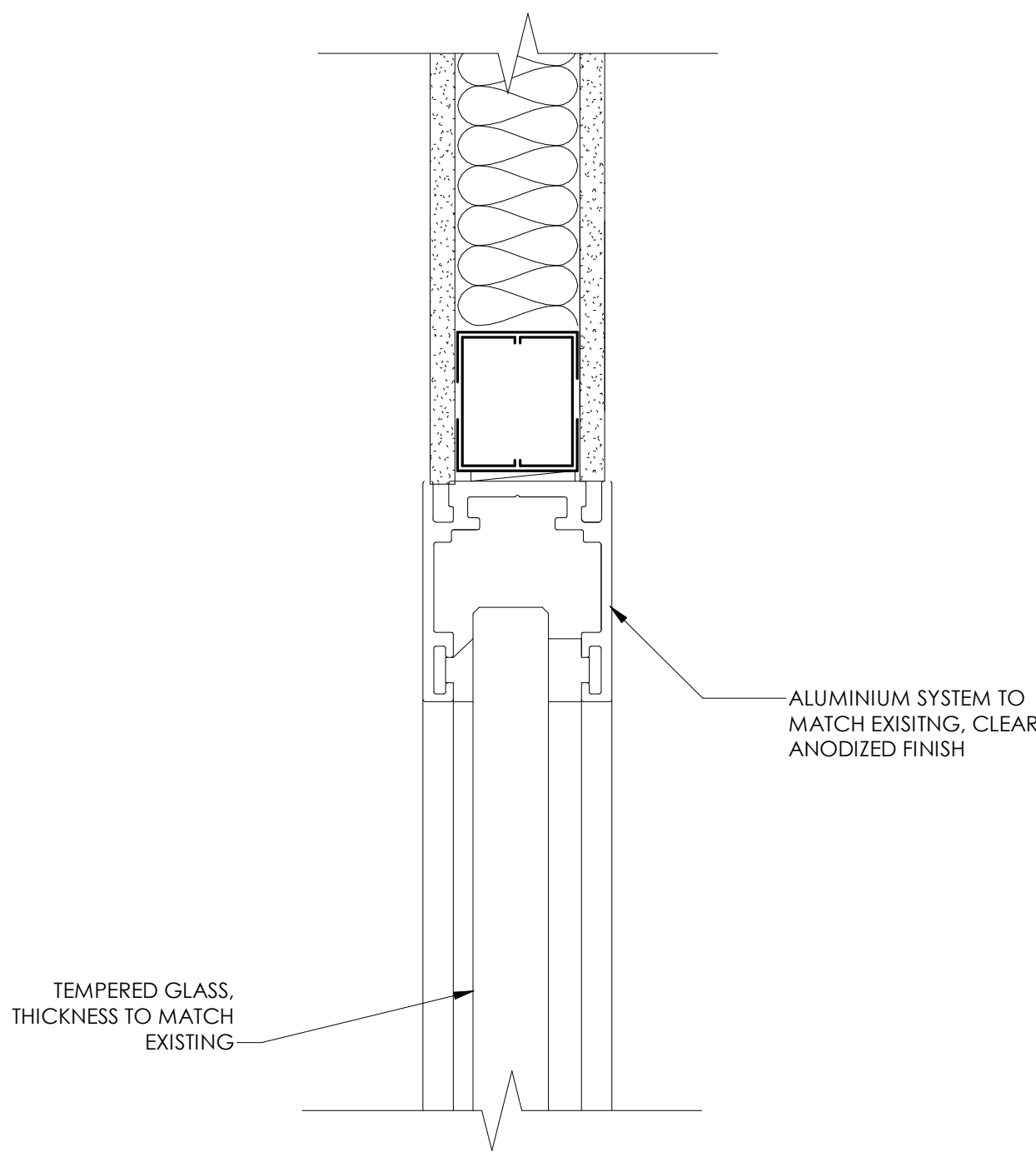


7 COLUMN DETAIL
SCALE: 1 1/2" = 1'-0"

DOOR SCHEDULE							
#	WIDTH	HEIGHT	THICKNESS	TYPE	DOOR MATERIAL	FRAME MATERIAL	COMMENTS
ID01	3' - 6"	10' - 0"	1 3/4"	D	GLASS	ALUMINUM	INTERIOR STOREFRONT SYSTEM
ID02	3' - 6"	10' - 0"	1 3/4"	D	GLASS	ALUMINUM	INTERIOR STOREFRONT SYSTEM
ID03	3' - 6"	10' - 0"	1 3/4"	D	GLASS	ALUMINUM	INTERIOR STOREFRONT SYSTEM
ID04	3' - 6"	10' - 0"	1 3/4"	D	GLASS	ALUMINUM	INTERIOR STOREFRONT SYSTEM
ID05	3' - 6"	10' - 0"	1 3/4"	D	GLASS	ALUMINUM	INTERIOR STOREFRONT SYSTEM



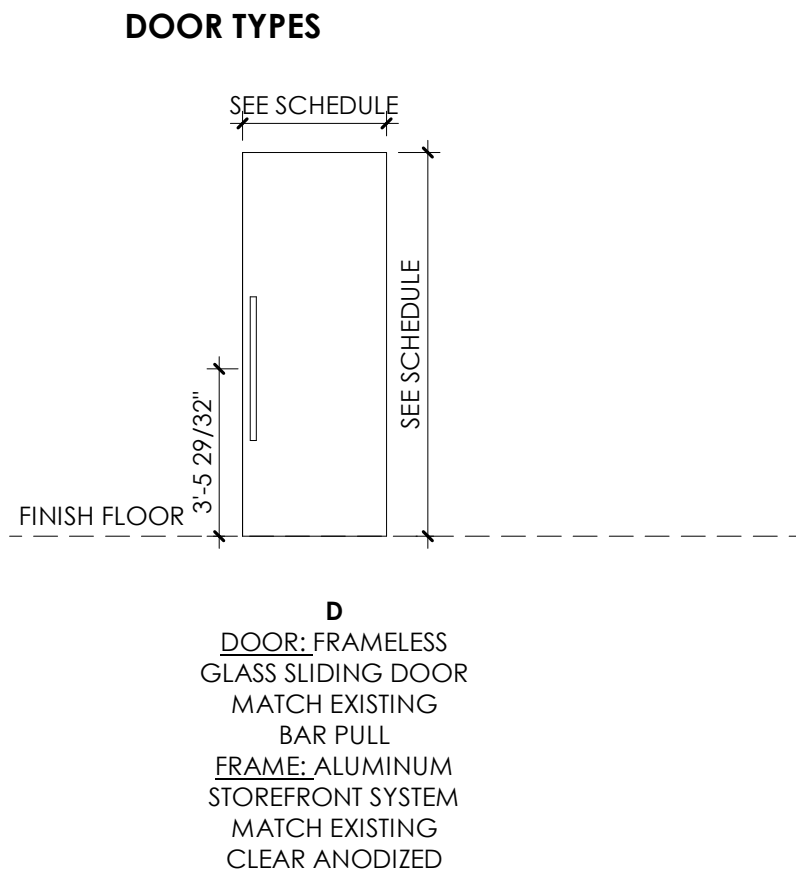
3 SLIDING DOOR SYSTEM
SCALE: 3" = 1'-0"



4 INTERIOR STOREFRONT SYSTEM DETAIL
SCALE: 3" = 1'-0"

DOOR GENERAL NOTES

- A. DIMENSIONS ARE TO FINISH FACE OF EXISTING WALLS OR FACE OF FRAMING MEMBER OF NEW WALLS, UNLESS NOTED OTHERWISE.
- B. REFER TO OVERALL PLANS AND ELEVATIONS FOR DOOR LOCATIONS.
- C. REFER TO OVERALL PLANS, WALL SECTIONS, DETAILS, AND WALL TYPES FOR WALL CONSTRUCTIONS AND ADDITIONAL INFORMATION.
- D. LOCATE ROUGH OPENINGS FOR DOORS 4" FROM INSIDE FACE OF INTERSECTING WALL UNLESS NOTED OTHERWISE.
- E. FIELD VERIFY SIZE AND LOCATION OF ALL DOORS.
- F. INSTALL ALL DOORS PER MANUFACTURERS INSTRUCTIONS AND PRODUCT APPROVALS.
- G. ALL WOOD OR S.C. DOORS SHALL BE SOLID ENGINEERED OR MDF CORE U.N.O.
- H. COORDINATE DOOR UNDERCUT WITH FINISH FLOOR OR THRESHOLD HEIGHT.
- I. CONFIRM ALL DOOR DETAILS WITH MANUFACTURER.
- J. ENSURE ALL EXISTING DOOR HARDWARE IS IN GOOD WORKING ORDER.
- K. COORDINATE WITH BUILDING OWNER KEYING/PROGRAMMING ALL NEW DOORS AS REQUIRED



ROOM FINISH SCHEDULE													
RM. NO.	ROOM NAME	FLOOR			BASE		WALL			CEILING			NOTES
		MATERIAL	FINISH/COLOR	MFR.	MATERIAL	FINISH	MATERIAL	FINISH/COLOR	MFR.	MATERIAL	FINISH/COLOR	MFR.	
116	SHOWCASE	CARPET TILE	TANDUS ABRASIVE ACTION II / COLOR #19102	TARKEIT	MATCH EXISTING	MATCH EXISTING	PAINT	BLACK FOX (#SW7020)	SHERWIN WILLIAMS	ACOUSTIC CEILING TILE	20200 PATTERN-SONAR DB	ROCKFON	
139	OFFICE	CARPET TILE	MENAGERIE II / STORM COLOR #101473	INTERFACE	MATCH EXISTING	MATCH EXISTING	PAINT	EXTRA WHITE (#SW7006)	SHERWIN WILLIAMS	ACOUSTIC CEILING TILE	20200 PATTERN-SONAR DB	ROCKFON	
140	OFFICE	CARPET TILE	MENAGERIE II / STORM COLOR #101473	INTERFACE	MATCH EXISTING	MATCH EXISTING	PAINT	EXTRA WHITE (#SW7006)	SHERWIN WILLIAMS	ACOUSTIC CEILING TILE	20200 PATTERN-SONAR DB	ROCKFON	
141	CONFERENCE	CARPET TILE	WORLD WOVEN WW890 / FLANNEL DOBBY #105384	INTERFACE	MATCH EXISTING	MATCH EXISTING	PAINT	EXTRA WHITE (#SW7006)	SHERWIN WILLIAMS	ACOUSTIC CEILING TILE	20200 PATTERN-SONAR DB	ROCKFON	
142	OFFICE	CARPET TILE	MENAGERIE II / STORM COLOR #101473	INTERFACE	MATCH EXISTING	MATCH EXISTING	PAINT	EXTRA WHITE (#SW7006)	SHERWIN WILLIAMS	ACOUSTIC CEILING TILE	20200 PATTERN-SONAR DB	ROCKFON	
145	MOCK O.R.	LUXURY VINYL PLANK	STRATUM EIRIS 053UV / IVORY 06005	SHAW	MATCH EXISTING	MATCH EXISTING	PAINT	BLACK FOX (#SW7020)	SHERWIN WILLIAMS	ACOUSTIC CEILING TILE	20200 PATTERN-SONAR DB	ROCKFON	



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**ARTHREX WEST RENOVATION
25 INVERNESS DRIVE EAST
ENGLEWOOD, CO 80112**

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FINISH SCHEDULE

PHASE	PERMIT
PR NO	24218
PA/PM	CH

A601

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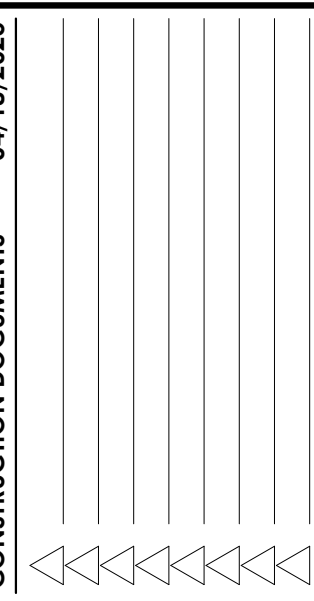


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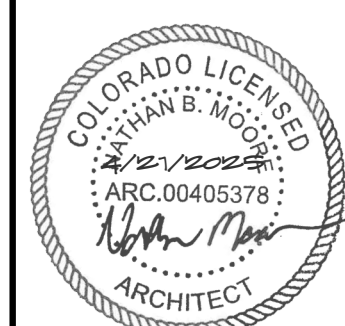
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PR NO
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24218
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**ARTHREX WEST RENOVATION
25 INVERNESS DRIVE EAST
ENGLEWOOD, CO 80112**

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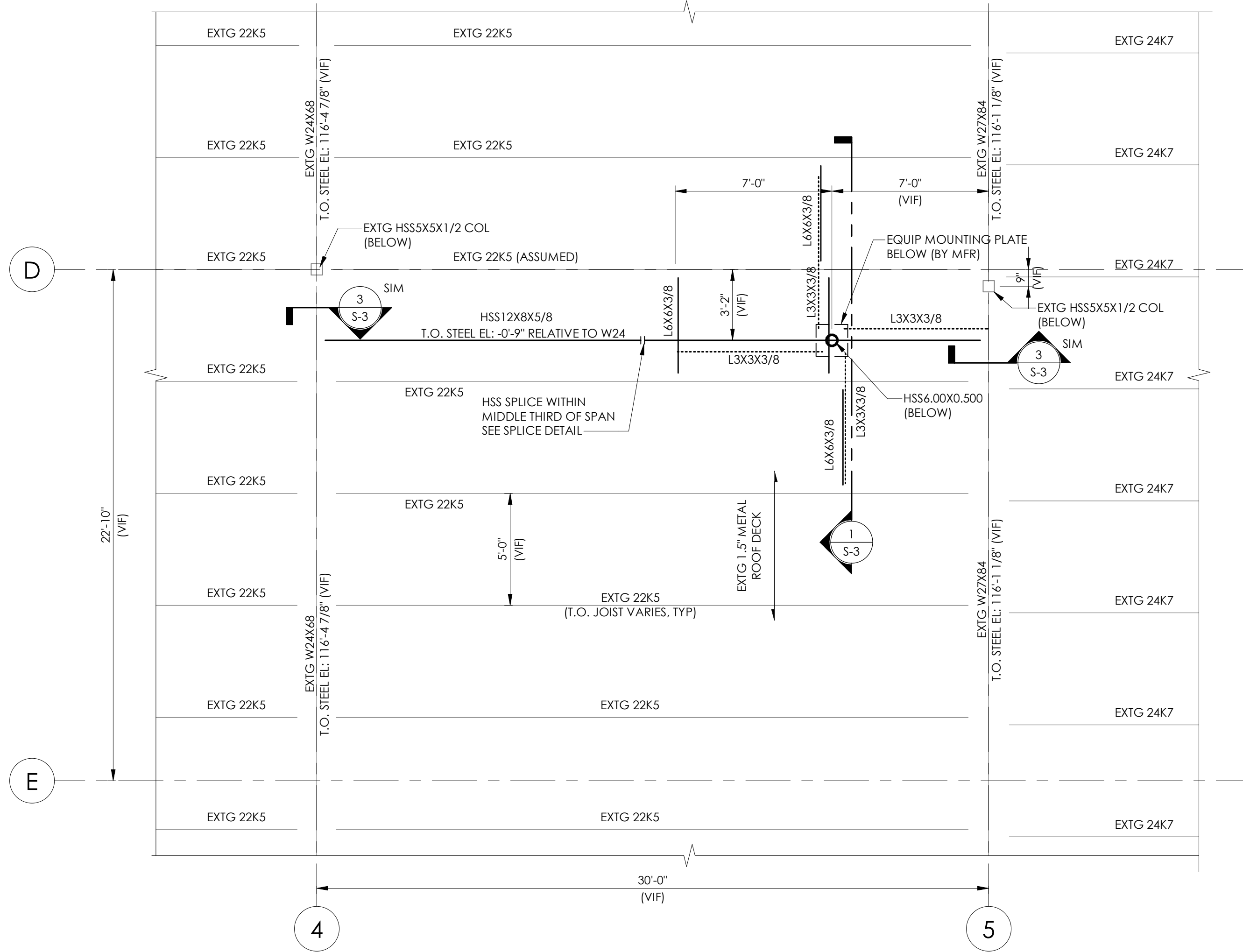
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PR NO	24218
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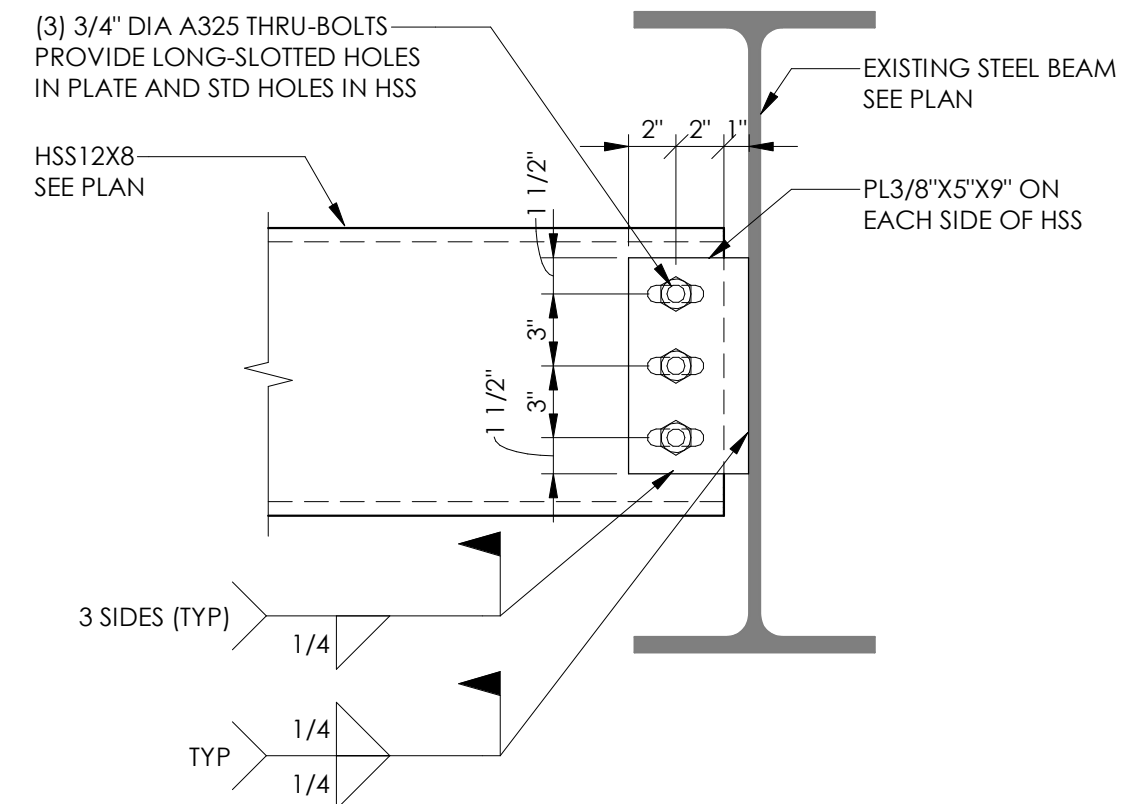


1 PARTIAL ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

- ROOF FRAMING PLAN NOTES**
1. VERIFY ALL DIMENSIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION.
 2. VERIFY ALL FRAMING AND ELEVATIONS IN THE FIELD. TOP OF STEEL ELEVATION INDICATED ON PLANS IS RELATIVE TO GROUND FLOOR ELEVATION OF 100'-0".
 3. SEE S-1 & S-2 FOR GENERAL NOTES.



KEY PLAN



PL 5/8" X 1/4" X 16"

(6) 3/4" DIA A325 FULLY-TIGHTENED SLIP CRITICAL BOLTS

HSS 12X8
SEE PLAN

1'-2"

1 1/2"

8"

1 1/2"

1/2"

1/4"

1/4"

FLATS ONLY
(TYP)

L6X6 (TYP) SEE PLAN
 1/4" 2" MIN 3 SIDES (TYP)
 7'-0"
 PL3/8"X5"X5" (TYP)
 HSS12X8 SEE PLAN
 L3X3 SEE DETAIL 1/S-3
 EXISTING ROOF DECK VIF
 7'-0"
 1
 S-3
 I.O. EXISTING STEEL VIF
 EXISTING STEEL BEAM SEE PLAN
 SEE 3/S-3 FOR CONN DETAIL
 L3X3 SWAY BRACE AT NEAR SIDE PLATE CORNER
 HSS6.000 SEE PLAN
 L3X3, SEE PLAN (TYP) SWAY BRACE AT FAR SIDE PLATE CORNER
 EQUIPMENT MOUNTING PLATE BY SKYTRON
 5" (VIF)
 CEILING ELEV. 12'-0" AFF SEE ARCH
 5

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MECHANICAL SPECIFICATIONS

THE DRAWINGS INDICATE DIAGRAMMATICALLY THE EXTENT, GENERAL CHARACTER, AND LOCATION OF THE WORK INCLUDED. OFFSETS AND/OR CHANGES IN ELEVATION OF PIPING AND DUCTWORK DUE TO STRUCTURAL OR OTHER INTERFERENCES SHALL BE PROVIDED WITHOUT EXTRA COST.

VERIFY AND EVALUATE ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK.

PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR THE INSTALLATION OF A COMPLETE AND OPERATING SYSTEM. PROVIDE CONTROL WIRING NECESSARY FOR THE OPERATION OF THE MECHANICAL SYSTEMS INDICATED ON THE MECHANICAL DRAWINGS. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, THERMOSTATS.

ENTIRE NEW WORK INSTALLATION SHALL CONFORM WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS OF MUNICIPAL, STATE AND FEDERAL AUTHORITIES INCLUDING: THE INTERNATIONAL BUILDING, MECHANICAL, AND ENERGY CONSERVATION CODES; ANY AND ALL LOCAL AMENDMENTS ADOPTED AND ENFORCED BY THE LOCAL JURISDICTION; ASME; ASTM; ASHRAE; SMACNA; AND NFPA.

WHERE REQUIRED BY CODE, ALL WORK MUST BE INSPECTED AND APPROVED BY LOCAL AUTHORITIES. PRIOR TO FINAL ACCEPTANCE, FURNISH THE ARCHITECT/OWNER WITH CERTIFICATES OF INSPECTION AND APPROVALS BY LOCAL AUTHORITIES.

PROVIDE ALL DAMPER CONTROL HANDLES, ELECTRIC CONTROLS, AIR CONTROLS, MECHANICAL EQUIPMENT, AND OTHER APPARATUS THAT MUST BE PROVIDED IN AN INACCESSIBLE LOCATION WITH SUITABLE ACCESS DOORS OR COVERS IN A FRAMED OPENING, WHICH WILL PERMIT PROPER OPERATION AND SERVICING.

BEFORE ACCEPTANCE AND FINAL PAYMENT, DEMONSTRATE THAT ALL APPARATUS ARE FUNCTIONING PROPERLY AND EFFICIENTLY. STARTUPS AND ADJUSTMENTS FOR THE FIRST HEATING AND THE FIRST COOLING SEASON SHALL BE INCLUDED IN THE BID.

SYSTEM, MATERIAL, AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER THE COMPLETION AND ACCEPTANCE. REPLACE ALL DEFECTIVE WORKMANSHIP, EQUIPMENT AND MATERIALS WITHOUT ADDITIONAL CHARGES, INCLUDING REFRIGERANT THAT IS LOST DURING RELATED REPAIRS.

TESTING, ADJUSTING, AND BALANCING SHALL BE PERFORMED IN ACCORDANCE WITH THE MOST CURRENT ASHRAE HANDBOOK OF HVAC APPLICATIONS, CHAPTER 36. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO:

- * BALANCING AIR DISTRIBUTION SYSTEMS
- * ADJUSTING THE TOTAL SYSTEM TO PROVIDE DESIGN QUANTITIES
- * ELECTRICAL MEASUREMENT
- * ESTABLISHING QUANTITATIVE PERFORMANCE OF ALL HVAC EQUIPMENT
- * VERIFYING AUTOMATIC CONTROLS

ADJUST AIR FLOWS FOR TERMINALS TO WITHIN +/- 10%. ADJUST AIR FLOWS IN DUCT MAINS TO WITHIN +/- 5%, USING THE PIOT-TUBE TRANSVERSE METHOD. FURNISH TO THE ARCHITECT, FIVE (5) COPIES OF THE TESTING AND BALANCING REPORT.

DUCTWORK SHALL BE GALVANIZED STEEL, CONSTRUCTED, INSTALLED, AND SUPPORTED IN ACCORDANCE WITH THE "SMACNA" APPLICABLE MANUALS. ALL DUCTWORK SHALL BE THE LOW VELOCITY TYPE, UNLESS OTHERWISE SPECIFIED. WHERE DUCTWORK IS EXPOSED TO VIEW, SUPPORT WITH THREADED ROD HANGER AND UNISTRUT. UNISTRUT SHALL HAVE (HOT-DIPPED GALVANIZED, GREEN) FACTORY FINISH.

ALL DUCT TAKE-OFFS SHALL BE PROVIDED WITH A MANUAL DAMPER. SUFFICIENT MANUAL DAMPERS SHALL BE PROVIDED AND INSTALLED FOR BALANCING OF THE SUPPLY AIR SYSTEM AND THE OUTSIDE AIR/ RETURN AIR SYSTEMS.

ALL EQUIPMENT SHALL BE INSTALLED IN STRICT COMPLIANCE WITH THE MANUFACTURER'S PUBISHED INSTRUCTIONS AND SHALL PROVIDE EXTRA MATERIALS REQUIRED FOR A PROPER INSTALLATION.

DUCT JOINTS FOR LOW PRESSURE DUCTWORK SHALL BE SEALED TO MEET THE SMACNA 1" W.C. PRESSURE CLASSIFICATION. SEAL ALL TRANSVERSE JOINTS WITH IRON-GRIP 601 AS MANUFACTURED BY HARDCAST. APPLY PER MANUFACTURER'S INSTRUCTIONS. DUCT TAPE IS NOT AN ACCEPTABLE MEANS OF SEALING DUCTS. EXCEPTION: DO NOT SEAL EXPOSED DUCTWORK.

DUCT DIMENSIONS SHOWN ARE SHEET METAL OR WHERE LINED INTERNAL DIMENSIONS (UNLESS OTHERWISE NOTED). DUCT DIMENSIONS MAY BE CHANGED IF THE NET FREE FACE AREA IS MAINTAINED.

ALL DUCT CONNECTIONS TO FAN DRIVEN UNITS SHALL BE MADE WITH 4-IN. LONG FIREPROOF FLEXIBLE DUCT CONNECTOR FOR VIBRATION SOUND ISOLATION.

CONDENSATE PIPING ABOVE THE ROOF SHALL BE PVC PIPE, ASTM D 2665, SOLID-WALL DRAIN, WASTE AND VENT PIPING WITH PVC SOCKET FITTINGS COMPLYING WITH ASTM D 2665, SOCKET TYPE, MADE TO ASTM D 3311, DRAIN, WASTE, AND VENT PATTERNS. FOR OR EACH ROOFTOP UNIT, PROVIDE TRAP AT CONDENSATE CONNECTION AND PIPE TO NEAREST ROOF DRAIN OR SCUPPER INLET.

THIS WORK SHALL BE PERFORMED IN A CLEAN AND PROFESSIONAL MANNER. CARE SHALL BE EXERCISED TO MINIMIZE INCONVENIENCE OR DISTURBANCE TO OTHER TRADES DURING CONSTRUCTION. ISOLATE WORK AREAS BY MEANS OF TEMPORARY PARTITIONS AND/OR TARPS TO KEEP DUST AND DEBRIS WITHIN THE CONSTRUCTION AREA. CLEAN THE JOB SITE DAILY AND REMOVE FROM THE PREMISES ANY DIRT AND DEBRIS CAUSED BY THE PERFORMANCE OF THE WORK INCLUDED IN THIS CONTRACT.

FIELD VERIFY ALL DIMENSIONS, EXISTING CONDITIONS, AND BUILDING POWER, VOLTAGE, AND PHASE PRIOR TO ORDERING EQUIPMENT AND PROCEEDING WITH ANY WORK. WHERE DISCREPANCIES OCCUR BETWEEN THESE DOCUMENTS AND EXISTING CONDITIONS, THE DISCREPANCY SHALL BE REPORTED TO THE OWNER AND MECHANICAL ENGINEER IMMEDIATELY FOR RESOLUTION.

THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFEKEEPING OF HIS/HER OWN PROPERTY ON THE JOB SITE. THE OWNER OR TENANT ASSUMES NO RESPONSIBILITY FOR PROTECTION OF THIS CONTRACTOR'S PROPERTY AGAINST FIRE, THEFT, OR ENVIRONMENTAL CONDITIONS.

WHERE CONDUIT, CABLES, DUCTWORK OR PIPING PASSES THROUGH FIRE RATED FLOORS, WALLS, OR PARTITIONS, THE SLEEVES SHALL BE COMPLETELY SEALED WITH A FIRE STOP MATERIAL THAT IS U.L. LISTED (EQUAL TO DOW CORNING) AND ACCEPTED BY THE BUILDING DEPARTMENT AND FIRE DEPARTMENT AS BEING SUITABLE FOR THE SERVICE. THIS MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED INSTRUCTIONS IN ORDER TO MAINTAIN THE FIRE RATING OF THE PENETRATED WALL, FLOOR, OR PARTITION. INSTALLATION SHALL BE A THROUGH-PENETRATION FIRESTOP SYSTEM INSTALLED AS REQUIRED IN ACCORDANCE WITH ASTM E 814 AND UL 1479. THE FIRE RATING SHALL MATCH THE RATING OF THE BARRIER BEING PENETRATED.

SUBMIT (1) PDF FILE OR SIX (6) SETS OF SHOP DRAWINGS, CONTROL DIAGRAMS, AND EQUIPMENT CUTS TO THE MECHANICAL ENGINEER FOR APPROVAL PRIOR TO STARTING RELATED WORK. UPON COMPLETION OF CONSTRUCTION, SUPPLY THE MECHANICAL ENGINEER WITH ONE COMPLETE SET OF FULL SIZE AS-BUILT DRAWINGS AND ONE FULL SIZED PDF FILE. PROVIDE THE OWNER WITH (1) PDF AND THREE (3) SETS OF OPERATION AND MAINTENANCE MANUALS FOR EACH TYPE OF EQUIPMENT INSTALLED.

SUBMISSION OF PROPOSAL IN CONNECTION WITH THIS WORK SHALL IMPLY THAT THE BIDDER HAS EXAMINED THE JOB SITE. NO EXTRA CHARGE WILL BE ALLOWED FOR CHANGES AS A RESULT FROM FAILURE TO EXAMINE THE JOB SITE.

THIS CONTRACTOR SHALL SECURE AND PAY ALL FEES AND PERMITS PERTAINING TO THIS CONTRACT, SHALL BE RESPONSIBLE FOR WORKERS IDENTIFICATION AND BADGING, SAFETY, AND LIABILITY INSURANCE. PROVIDE BARRICADES, WARNING SIGNS, AND TRASH REMOVAL FOR THE SAFETY OF THE WORKERS UNDER THIS CONTRACTOR'S EMPLOY.

THIS CONTRACTOR SHALL ASSUME ALL ADDED EXPENSES TO ALL TRADES ASSOCIATED WITH THE INSTALLATION OF SUBMITTED AND APPROVED ALTERNATE EQUIPMENT.

DUCT INSULATION:

RECTANGULAR SUPPLY AND RETURN DUCTWORK CONCEALED ABOVE CEILINGS SHALL BE, INSULATED WITH A MINIMUM INSTALLED R-VALUE OF 6, INTERNALLY LINED WITH ACOUSTICAL LINER EQUAL TO JOHNS MANVILLE LINACOUSITC RC FIBERGLASS DUCT LINER WITH REINFORCED COATING SYSTEM 1-1/2 INCHES THICK, R-6.3, NFPA 90A AND 90B COMPLIANT.

ROUND SUPPLY AND RETURN AIR DUCTWORK CONCEALED ABOVE CEILINGS SHALL BE INSULATED WITH FIBERGLASS DUCT INSULATION WITH FSK FACINGS EQUAL TO JOHNS MANVILLE MICRODUTE, 100# DENSITY, 2 INCHES THICK, WITH A MINIMUM INSTALLED R-VALUE OF 6. INSTALL PER MANUFACTURER'S PUBLISHED INSTRUCTIONS. DUCTWORK THAT IS ACOUSTICALLY LINED DOES NOT REQUIRE EXTERIOR INSULATION.

EXTERIOR DUCTWORK SHALL BE INSULATED WITH A MINIMUM INSTALLED R-VALUE OF 12.

EXPOSED DUCTWORK WITHIN CONDITIONED SPACE SHALL NOT BE EXTERNALLY INSULATED. CLEAN AND PREP FOR PAINTING (PAINT BY OTHERS).

OUTSIDE AIR DUCTS SHALL BE INSULATED; WHERE EXPOSED, THE INSULATION SHALL BE INTERNAL LINER.

WHERE DUCTWORK IS NOTED TO BE INSULATED DIFFERENTLY ON THE DRAWINGS (i.e. EXTERNAL INSULATION ON RECTANGULAR DUCTWORK), THE CORRESPONDING INSULATION SPECIFICATIONS ABOVE SHALL APPLY.

GREASE EXHAUST DUCT SHALL BE CONSTRUCTED OF 16 GAGE WELDED BLACK IRON AND SHALL BE EXTERNALLY WRAPPED IN 2 LAYERS OF U.L. LISTED GREASE DUCT WRAP UP TOP ROOF PENETRATION. HORIZONTAL GREASE EXHAUST DUCT SHALL BE PROVIDED WITH RATED CLEANOUTS PER MECHANICAL CODE.

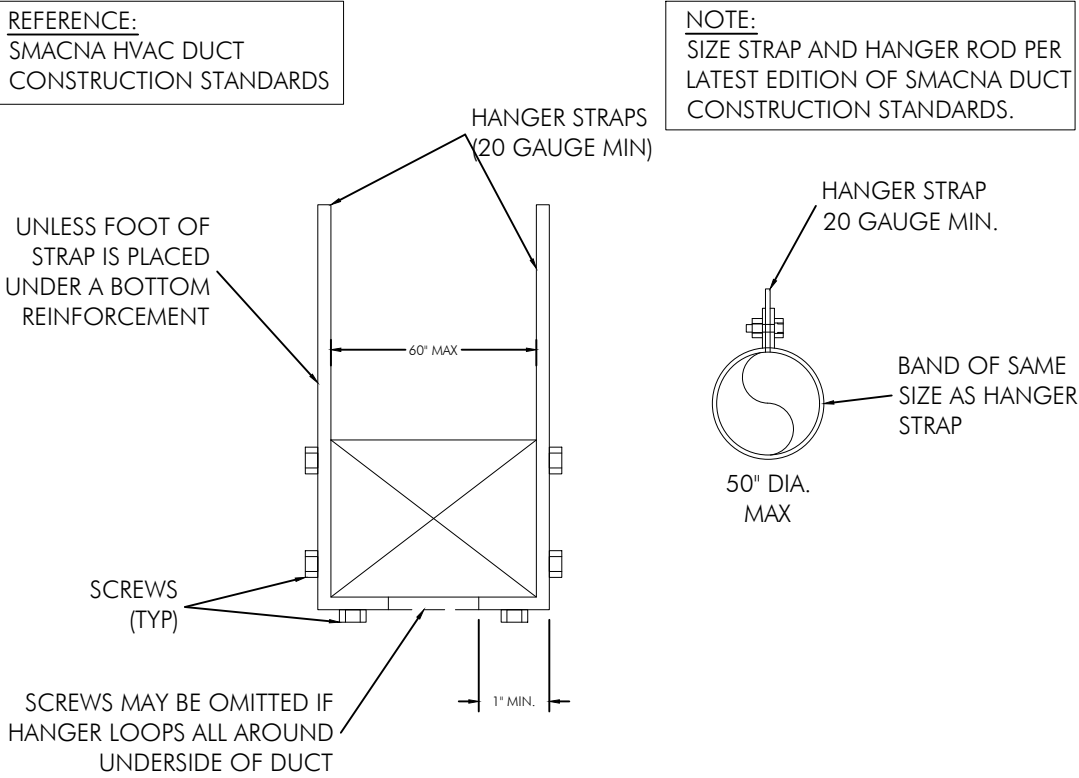
CODE COMPLIANCE STATEMENT

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES:

- INTERNATIONAL MECHANICAL CODE (IMC) : 2021
- INTERNATIONAL ENERGY CONSERVATION CODE (IECC) : 2021

MECHANICAL SCOPE OF WORK

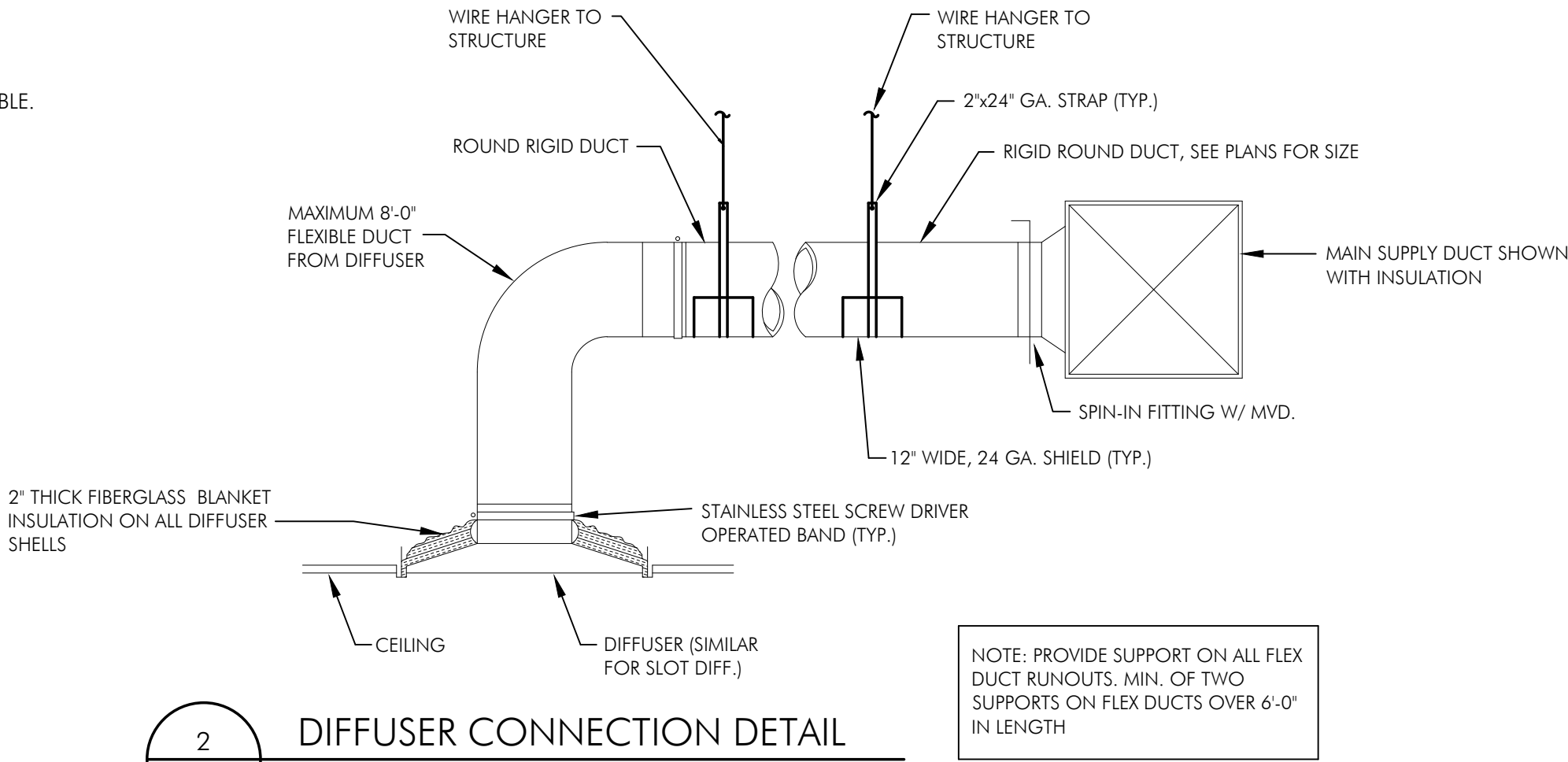
- EXISTING ROOFTOP UNIT TO REMAIN.
- REUSE EXISTING MECHANICAL EQUIPMENT, DUCTING, AND DIFFUSERS, WHERE APPLICABLE.
- PROVIDE NEW DUCTING AND DIFFUSERS WHERE REQUIRED TO SERVE NEW SPACES.



1 DUCT HANGER DETAIL

SCALE: NONE

CONTRACTOR SHALL PROVIDE DUCT HANGERS AND CONNECTION TO STRUCTURE AS PART OF MECHANICAL SUBMITTAL.



2 DIFFUSER CONNECTION DETAIL

SCALE: NTS

DIFFUSER, REGISTER & GRILLE SCHEDULE

Mark(s)	Manufacturer / Model No.	DESCRIPTION	CONSTRUCTION	NOM. CFM	SIZE	MOUNTING	REMARKS
RG1	Titus PXP or equal	T-Bar Perforated Return Grille	Steel	See Plans	24"x24"	T-Bar Lay-in	Open to return plenum above ceiling

ROOFTOP UNIT SCHEDULE (GAS-FIRED) Carrier

Mark(s)	Manufacturer / Model No.	NOM. TONS	EER	COOLING		AMB. AIR TEMP	EAT		HEATING			SUPPLY FAN		SUPPLY FAN (HP)	ELECTRICAL			SIZE			
				Sens	Total		DB °F	WB °F	Input MBH (SL)	Output MBH (SL)	Output MBH (ALT)	CFM	ESP		VOLTAGE & PHASE	MCA	MOCP	LENGTH (IN)	WIDTH (IN)	HEIGHT (IN)	WEIGHT (LBS)
RTU-E3	Existing Carrier 48TCFM12A2M6A6WQA0	10	11	--	117	--	--	--	250	205	--	4000	--	--	460/3	26	30	88-1/8"	59-1/2"	49-3/8"	--
RTU-E4	Existing Carrier 48TCFM12A2M6-6WQA0	10	11	--	117	--	--	--	250	205	--	4000	--	--	460/3	26	30	88-1/8"	59-1/2"	49-3/8"	--

NOTES:

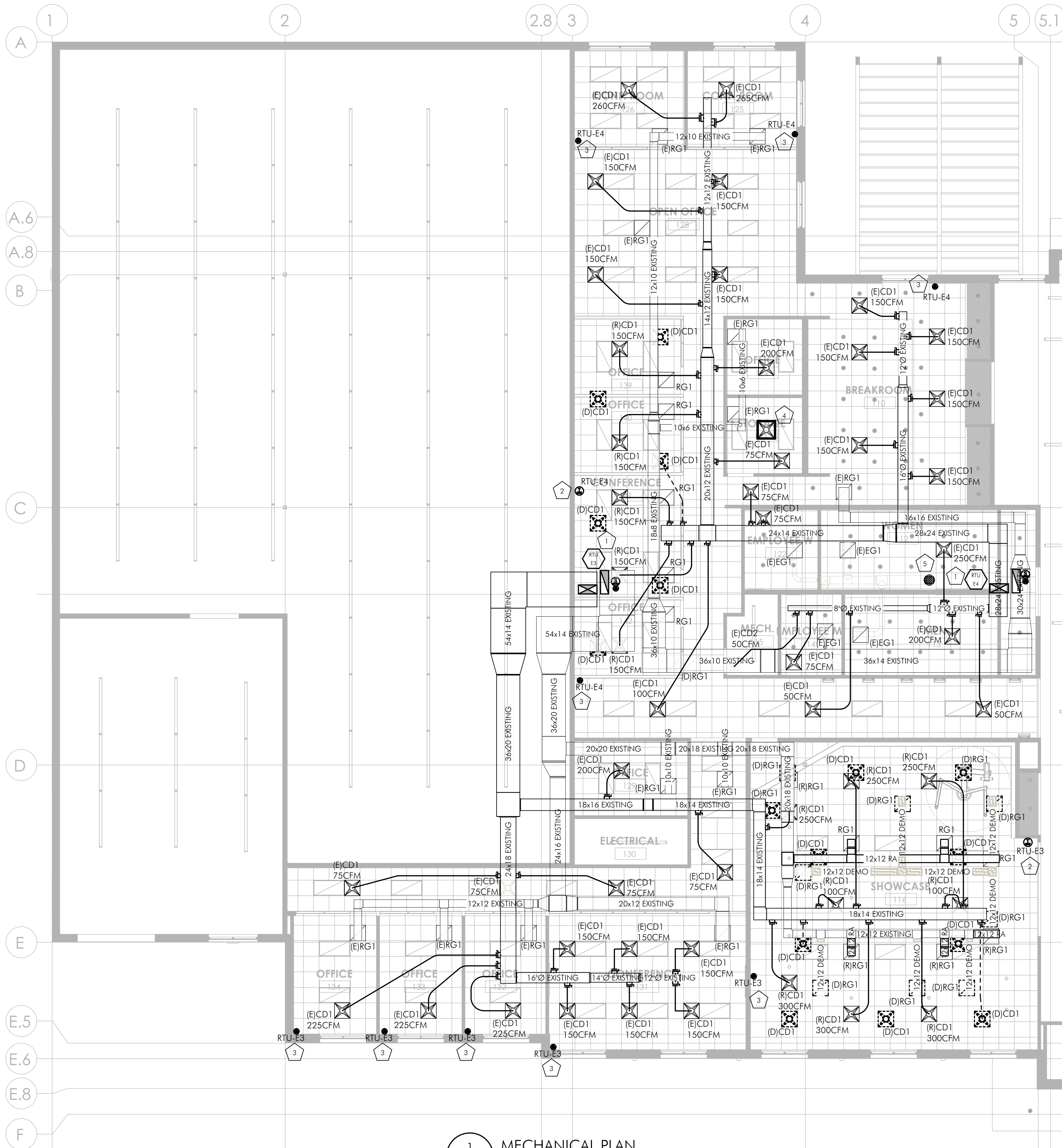
- Provide Duct mounted smoke detectors in return duct per code, when unit supplies equal or greater than 2000 CFM.
- Provide 14" in. high manufacturer's roof curb, flash and seal to roof.
- Provide 100% enthalpy controlled economizer, with integral barometric relief set to minimum outside air requirements as shown on Ventilation Schedule.
- Provide Honeywell T-7300 programmable thermostat with locking cover.
- Provide louvered hail guards on all units.

VENTILATION SCHEDULE

ROOM NAME(S)	OCCUPANCY CLASSIFICATION	NOTES	ROOM AREA (SF)	PERSONS PER 1000 SF	Rp PEOPLE AIRFLOW	Ra ZONE AIRFLOW	Exhaust AIRFLOW RATE CFM/SF	TOTAL PERSONS	ZONE Ez	OUTSIDE AIR REQUIRED (CFM)	%OSA OF SUPPLYING RTU (CFM)	MIN SUPPLY REQUIRED (CFM)	SUPPLY PROVIDED (CFM)	MIN EXHAUST REQUIRED (CFM)	EXHAUST PROVIDED (CFM)
RTU-E3															
116 - SHOWCASE	SALES (except as below)		1364	15	7.5	0.12	0	21	0.8	401	25%	1606	1850	--	
129 - OFFICE	OFFICE SPACES		140	5	5	0.06	0	1	0.8	17	25%	67	200	--	
130 - ELECTRICAL	STORAGE ROOMS		86	0	0	0.12	0	0	0.8	13	25%	52		--	
131 - CONFERENCE ROOM	CONFERENCE ROOMS		444	50	5	0.06	0	23	0.8	177	25%	708	900	--	
132 - OFFICE	OFFICE SPACES		161	5	5	0.06	0	1	0.8	18	25%	73	225	--	
133 - OFFICE	OFFICE SPACES		164	5	5	0.06	0	1	0.8	19	25%	74	225	--	
134 - OFFICE	OFFICE SPACES		165	5	5	0.06	0	1	0.8	19	25%	75	225	--	
CORRIDORS	CORRIDORS		448	0	0	0.06	0	0	0.8	34	25%	134	300	--	
RTU-E4															
110 - BREAKROOM	OFFICE SPACES		677	5	5	0.06	0	4	0.8	76	30%	253	975	--	
112 - WOMEN	TOILET ROOMS (Public, Continuous Exh.)	e,f,g	235	0	0	0	50	0	0		30%		250	200	400
113 - MEN	TOILET ROOMS (Public, Continuous Exh.)	e,f,g	205	0	0	0	50	0	0		30%		200	150	200
114 - EMPLOYEE M	TOILET ROOMS (Public, Continuous Exh.)	e,f,g	81	0	0	0	50	0	0		30%		75	50	100
115 - MECH.	STORAGE ROOMS		62	0	0	0.12	0	0	0.8	9	30%	31	50	--	
122 - EMPLOYEE W	TOILET ROOMS (Public, Continuous Exh.)	e,f,g	97	0	0	0	50	0	0		30%		75	50	100
123 - STORAGE	STORAGE ROOMS		94	0	0	0.12	0	0	0.8	14	30%	47	75	--	
124 - OFFICE	OFFICE SPACES		95	5	5	0.06	0	1	0.8	13	30%	45	200	--	
125 - CONF. ROOM	CONFERENCE ROOMS		176	50	5	0.06	0	9	0.8	69	30%	232	265	--	
126 - CONF. ROOM	CONFERENCE ROOMS		178	50	5	0.06	0	9	0.8	70	30%	232	260	--	
128 - OPEN OFFICE	OFFICE SPACES		615	5	5	0.06	0	4	0.8	71	30%	237	600	--	
139 - OFFICE	OFFICE SPACES		133	5	5	0.06	0	1	0.8	16	30%	54	150	--	
140 - OFFICE	OFFICE SPACES		133	5	5	0.06	0	1	0.8	16	30%	54	150	--	
141 - CONFERENCE	CONFERENCE ROOMS		214	50	5	0.06	0	11	0.8	85	30%	283	300	--	
142 - OFFICE	OFFICE SPACES		133	5	5	0.06	0	1	0.8	16	30%	54	150	--	
CORRIDORS	CORRIDORS		701	0	0	0.06	0	0	0.8	53	30%	175	200	--	

* OUTSIDE AIR PER SQ. FT. CALCULATED BY THE USE OF EQUATION 4-1 AND EQUATION 4-2 OF IMC.

NOTES:



1 MECHANICAL PLAN
M1.0 SCALE: 1/8"=1'-0"

MECHANICAL SHEET NOTES

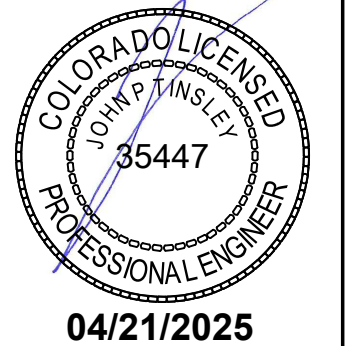
1. SUPPLY AND RETURN PENETRATIONS FROM EXISTING ROOFTOP UNIT. FIELD VERIFY FINAL LOCATION AND EXISTING CONDITIONS PRIOR TO ANY WORK.
2. PLACE THERMOSTAT ON WALL. FIELD VERIFY EXISTING CONDITIONS AND FINAL LOCATION PRIOR TO ANY WORK.
3. EXISTING REMOTE AVERAGING SENSOR ON WALL TO REMAIN.
4. EXISTING CEILING CASSETTE TO REMAIN.
5. EXISTING EXHAUST SYSTEM TO REMAIN.

MECHANICAL GENERAL NOTES

1. THIS DESIGN IS DIAGRAMMATICAL. REFER TO MANUFACTURER'S RECOMMENDATIONS AND INSTALLATION MANUALS FOR SPECIFIC LOCATIONS AND INSTALLATION DETAILS. REFER TO ARCHITECTURAL DRAWINGS FOR ANY DIMENSIONS.
2. ALL REUSED MATERIALS OR EQUIPMENT SHALL BE IN GOOD CONDITION AND THE SYSTEM SHALL BE IN COMPLIANCE WITH ALL APPLICABLE CODES AND IN GOOD WORKING ORDER AT THE COMPLETION OF THE PROJECT.
3. EXPOSED DUCTWORK SHALL BE BY OF SPIRAL TYPE AND SHALL BE PAINTED BLACK TO MATCH THE CEILING ABOVE. VERIFY WITH ARCHITECTURAL PRIOR TO ROUGH-IN.
4. DUCT WORK SHALL BE AS HIGH AS POSSIBLE. FIELD VERIFY FINAL HEIGHTS AND ROUTING PRIOR TO ANY WORK.
5. PROVIDE AND INSTALL NEW SUPPLY AIR RUN-OUT DUCTS FOR SUPPLY DIFFUSERS. RUN-OUT SIZED TO MATCH DIFFUSER NECK, ROUTE FROM THE DIFFUSER TO THE SUPPLY AIR TRUNK DUCT AND PROVIDE MVD; BALANCE TO THE CFM INDICATED. FLEX DUCT SHALL BE USED TO A MAXIMUM OF 8'-0" FROM THE DIFFUSER. RIGID DUCT SHALL BE USED FOR THE REMAINDER OF THE RUN OUT DUCT.
6. MATERIALS WITHIN PLENUMS SHALL BE PER IMC SECTION 602.2.1. MATERIALS WITHIN PLENUMS SHALL BE NONCOMBUSTIBLE OR SHALL BE LISTED AND LABELED AS HAVING A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 50 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 723.
7. ALL RETURN DUCTWORK SHALL BE ACOUSTICALLY LINED WITH A MINIMUM OF R-6.
8. (E) INDICATES EXISTING MECHANICAL EQUIPMENT, DIFFUSERS, AND/OR GRILLES TO REMAIN. FIELD VERIFY EXISTING CONDITIONS PRIOR TO ANY WORK.
9. (D) INDICATES ALL EQUIPMENT TO BE REMOVED. FIELD VERIFY ALL EQUIPMENT TO BE DEMOLISHED PRIOR TO ANY DEMOLITION AND BIDDING. CONTRACTOR MUST INCLUDE ALL COST TO REMOVE ITEMS MADE OBSOLETE. CONTRACTOR GIVES OWNER FIRST RIGHTS OF REFUSAL ON ANY EXISTING EQUIPMENT THE OWNER MAY WANT TO KEEP. IF OWNER DECIDES SAID ITEM IS TO BE REMOVED THEN CONTRACTOR IS TO REMOVE FROM THE PROJECT SITE AS REQUIRED.
10. RELOCATE (R) REMOVED DIFFUSERS IN SPACE TO MEET NEW LAYOUT REQUIREMENTS. ENSURE THAT A MINIMUM OF THE CFM INDICATED ON THE PLANS IS MET FOR EACH DIFFUSER. DO NOT EXCEED 10' OF DISTANCE ON ANY FLEX DUCTWORK; PROVIDE NEW HARD DUCT AS REQUIRED. FIELD VERIFY EXISTING CONDITIONS, FINAL LOCATIONS, AND LENGTHS OF RUNS PRIOR TO ANY WORK.

THE DRAWING AND DESIGN WITHIN THIS HARD COPY OR DIGITAL FILE IS THE PROPERTY AND CREATION OF MARK ARCHITECTURE AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT OF MARK ARCHITECTURE.
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ARTHREX WEST RENOVATION
25 INVERNESS DRIVE EAST
ENGLEWOOD, CO 80112



CONSTRUCTION DOCUMENTS	04/21/2025
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MECHANICAL
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PHASE
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GENERAL PROJECT NOTES

NOTE: SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL CONSTRUCTION REQUIREMENTS

- THE CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIAL NECESSARY FOR A COMPLETE, OPERATIONAL AND PROPERLY FUNCTIONING ELECTRICAL SYSTEM
- MATERIALS AND INSTALLATION SHALL COMPLY WITH CODES, LAWS AND ORDINANCES OF FEDERAL, STATE AND LOCAL GOVERNING BODIES HAVING JURISDICTION.
- MATERIALS AND EQUIPMENT SHALL BE LISTED AND/OR LABELED BY U.L., ETL, CSA OR ANOTHER RECOGNIZED TESTING LAB. ALL MATERIAL, EQUIPMENT, WIRING DEVICES, ETC. SHALL BE NEW, UNLESS SPECIFICALLY INDICATED AS EXISTING TO BE REUSED.
- THE CONTRACTOR SHALL PREPARE AND SUBMIT TO GOVERNMENTAL AGENCIES AND UTILITY COMPANIES SHOP DRAWINGS REQUIRED BY THESE AGENCIES FOR APPROVAL. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, GOVERNMENTAL FEES, TAXES AND LICENSES NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE ELECTRICAL WORK. THE CONTRACTOR SHALL SECURE AND PAY ALL FEES AND PERMITS PERTAINING TO THIS CONTRACT, SHALL BE RESPONSIBLE FOR WORKERS IDENTIFICATION AND BADGING, SAFETY, AND LIABILITY INSURANCE. PROVIDE BARRICADES, WARNING SIGNS, AND TRASH REMOVAL FOR THE SAFETY OF THE WORKERS UNDER THIS CONTRACTORS EMPLOY.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER/OWNER OF ANY MATERIALS OR APPARATUS BELIEVED TO BE INADEQUATE, UNSUITABLE, IN VIOLATION OF LAWS, ORDINANCES, RULES OR REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL PREPARE THE DOCUMENTS, INCLUDING DRAWINGS, REQUIRED TO OBTAIN APPROVAL OF THE EQUIPMENT AND LOCATIONS OF THE DEVICES THAT COMPRISE THE BUILDING FIRE ALARM LIFE SAFETY SYSTEM. THE DRAWINGS AND CUT SHEETS SHALL BE PROVIDED TO A PROFESSIONAL ENGINEER FOR REVIEW AND APPROVAL. THE APPROVED DRAWINGS WILL BE STAMPED, SIGNED AND RETURNED TO E.C. TO SUBMIT TO THE BUILDING DEPARTMENT.
- THE CONTRACTOR SHALL CAREFULLY EXAMINE THE CONTRACT DOCUMENTS, VISIT THE SITE, AND THOROUGHLY BECOME FAMILIAR WITH THE BUILDING STANDARDS, LOCAL JURISDICTIONAL CODES AND REQUIREMENTS, AND LOCAL CONDITIONS RELATING TO THE WORK. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR OF THE OBLIGATIONS OF THE CONTRACT. SUBMISSION OF PROPOSAL IN CONNECTION WITH THIS WORK SHALL IMPLY THAT THE BIDDER HAS EXAMINED THE JOB SITE. NO EXTRA CHARGE WILL BE ALLOWED FOR CHANGES AS A RESULT FROM FAILURE TO EXAMINE THE JOB SITE.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY POWER AND WIRING FOR THE PERFORMANCE OF ALL TRADES, FOR THE ENTIRE PERIOD OF CONSTRUCTION AND SHALL REMOVE ALL TEMPORARY WIRING AT THE COMPLETION OF CONSTRUCTION.
- THE EXISTING POWER, SIGNAL AND COMMUNICATION SYSTEMS ARE TO REMAIN IN SERVICE TO PROVIDE FOR THE OWNERS FUNCTION. SHOULD IT BECOME NECESSARY TO SHUT-DOWN ANY SYSTEM OR PORTION OF A SYSTEM, APPROVAL IN WRITING MUST BE OBTAINED FROM THE OWNER AND SHALL ONLY APPLY FOR THE PERIOD AND TIME AGREED UPON. THE BID IS TO INCLUDE THE COST OF ANY TEMPORARY WIRING AND PREMIUM TIME REQUIRED FOR THE SHUT-DOWN.
- ALL MATERIALS AND EQUIPMENT SHALL BE ERECTED, INSTALLED, CONNECTED, CLEANED, ADJUSTED, TESTED, CONDITIONED, AND PLACED IN SERVICE IN ACCORDANCE WITH THE MANUFACTURERS DIRECTIONS AND RECOMMENDATIONS.
- ALL CUTTING, DRILLING AND PATCHING OF MASONRY, STEEL OR IRON WORK BELONGING TO THE BUILDING MUST BE DONE BY THIS CONTRACTOR IN ORDER THAT HIS WORK MAY BE PROPERLY INSTALLED, BUT UNDER NO CONDITIONS MAY STRUCTURAL WORK BE CUT, EXCEPT AT THE DIRECTION OF THE ARCHITECT-DESIGNER OR THEIR REPRESENTATIVE.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND MOUNTING HEIGHTS OF ELECTRICAL FIXTURES AND ELECTRICAL DEVICES. MOUNTING HEIGHTS SHALL CONFORM TO ADA/ICC/ANSI STANDARDS.
- ALL WORK REQUIRED FOR THE INSTALLATION AS SHOWN ON DRAWINGS INCLUDING LABOR, EQUIPMENT AND MATERIALS SHALL BE IN STRICT COMPLIANCE WITH THE BUILDING STANDARDS.
- PROVIDE COMPLETE METAL RACEWAY SYSTEMS AND ENCLOSURES FOR ALL WIRING THROUGHOUT THE EXTENT OF THE REQUIRED SYSTEM.
- ALL TELE/ DATA BOXES SHALL BE PROVIDED WITH A 1/2" CONDUIT AND BUSHING WITH PULL STRING RUN 6" ABOVE FINISHED CEILING OR CEILING GRID. ELECTRICAL METALLIC TUBING (EMT) SHALL BE USED FOR ALL WALL OUTLETS & TELEPHONE WIRING RUNNING BELOW RAISED FLOOR OR ABOVE HARD CEILINGS.
- ALL RECEPTACLES NOTED AS ISOLATED GROUND (IG) OR DEDICATED OR CIRCUITED AS DEDICATED SHALL BE PROVIDED WITH A DEDICATED GROUND AND NEUTRAL. ALL RECEPTACLES IN BATHROOMS, KITCHENS, ROOFTOPS, OUTDOORS, AND WITHIN 6FT. OF A SINK SHALL BE GFCI (OR SERVED BY A GFCI CIRCUIT BREAKER PER NEC 210.8(B)). THE E.C. SHALL PROVIDE VENT OUTLETS (OR CIRCUIT BREAKERS) IN ALL LOCATIONS REQUIRED BY THE NEC. ALL RECEPTACLES IN DWELLING UNITS, GUEST ROOMS, AND CHILD CARE FACILITIES (AS SPECIFIED BY ARTICLE 406 OF THE NEC) SHALL BE LISTED AS TAMPER-RESISTANT RECEPTACLES.
- MINIMUM CONDUIT SIZE SHALL BE 3/4" UNLESS OTHERWISE INDICATED. CONDUITS LARGER THAN 2" DIAMETER OR CONDUITS OF ANY SIZE ROUTED OUTDOORS SHALL BE INTERMEDIATE METAL CONDUIT (IMC).
- FLEXIBLE CONDUIT CONNECTIONS TO RECESSED LIGHTING FIXTURES SHALL BE MADE WITH FLEXIBLE STEEL CONDUIT, 3/8 INCH MINIMUM.
- FINAL CONNECTIONS TO MOTORS SHALL BE MADE WITH LIQUID TIGHT FLEXIBLE STEEL CONDUIT, 1/2 INCH MINIMUM.
- WIRE NO. 8 AND SMALLER INSTALLED IN DRY LOCATIONS SHALL BE TYPE THWN OR THHN THERMOPLASTIC 600V INSULATED COPPER CONDUCTORS. NO WIRE SMALLER THAN NO. 12 SHALL BE USED FOR LIGHTING OR POWER WIRING. WIRE NO. 8 AND LARGER SHALL BE STRANDED. ALL CONDUCTORS INSTALLED IN EXTERIOR OR WET LOCATIONS SHALL BE TYPE THWN 600V INSULATED COPPER CONDUCTORS.
- ALL NEW CIRCUIT BREAKERS FOR NEW OR EXISTING PANEL BOARDS SHALL MATCH EXISTING OR NEW BUILDING STANDARD PANEL BOARD MANUFACTURER AND BREAKER TYPE. THE CONTRACTOR SHALL PROVIDE NEW ACCURATE AND DETAILED TYPE WRITTEN PANEL DIRECTORIES PER NEC 408.4 FOR ALL NEW OR MODIFIED PANELS. NUMBERED CIRCUITS ARE FOR CONVENIENCE OF DESIGN ONLY. E.C. TO FIELD VERIFY ACTUAL CIRCUIT NUMBERS USED AND CORRECTLY INDICATE ON 'AS-BUILT' DRAWINGS. THE E.C. SHALL REMOVE ALL ABANDONED CIRCUITS.
- PROVIDE #10 FOR BRANCH CIRCUITS OVER 75' AT 120V AND OVER 150' AT 277V. E.C. TO FIELD VERIFY BRANCH CIRCUIT LENGTHS AND SIZE CONDUCTORS FOR VOLTAGE DROP.
- EACH SWITCH, LIGHT, RECEPTACLE AND ALL OTHER DEVICES SHALL BE PROVIDED AND INSTALLED WITH A GALVANIZED OR SHERARDIZED PRESSED STEEL JUNCTION BOX OF NOT LESS THAN NO. 14 U.S. GAUGE STEEL. CONDUITS SHALL BE FASTENED WITH LOCKNUTS AND BUSHINGS AND ALL UNUSED KNOCKOUTS MUST BE LEFT SEALED. THERE MUST BE SUFFICIENT ROOM FOR WIRES AND BUSHINGS AND DEEP BOXES SHALL BE INSTALLED WHERE REQUIRED. BOXES SHALL BE SECURELY AND ADEQUATELY SUPPORTED.
- ELECTRICAL CONTRACTOR SHALL PROVIDE ALL SPECIAL OUTLET BOXES THAT MAY BE REQUIRED TO ENCLOSE RECEPTACLES.
- IN SUSPENDED CEILINGS SUPPORT CONDUIT AND JUNCTION BOXES DIRECT FROM THE STRUCTURAL SLAB, DECK, OR FRAMING PROVIDED FOR THAT PURPOSE. LIGHTING BRANCH CIRCUIT CONDUITS SHALL NOT BE CLIPPED TO THE CEILING SUPPORT WIRES OR SPLINE UNLESS THE CEILING SYSTEM HAS BEEN SPECIFICALLY DESIGNED FOR THAT PURPOSE.
- PROVIDE LOCAL DISCONNECT SWITCHES FOR ALL MOTORS (PLENUM APPROVED WHERE REQUIRED).
- THE E.C. SHALL INCLUDE IN HIS COST THE REMOVAL OF ALL EXISTING ELECTRICAL DEVICES, CONDUITS, FIXTURES AND EQUIPMENT THAT IS NOT TO BE REUSED. DISCARD ALL EQUIPMENT AS REQUIRED. E.C. SHALL BE RESPONSIBLE FOR DISCONNECTING PRIMARY SERVICE AND TEMPORARY POWER.
- PROVIDE WARRANTY GUARANTEED FOR A PERIOD OF ONE YEAR AFTER COMPLETION AND ACCEPTANCE. REPLACE ALL DEFECTIVE WORKMANSHIP, EQUIPMENT AND MATERIALS WITHOUT ADDITIONAL CHARGES.
- THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFEKEEPING OF HIS/HER OWN PROPERTY ON THE JOB SITE. THE OWNER OR TENANT ASSUMES NO RESPONSIBILITY FOR PROTECTION OF THIS CONTRACTORS PROPERTY AGAINST FIRE, THEFT, OR ENVIRONMENTAL CONDITIONS.
- WHERE CONDUIT, CABLES, DUCTWORK OR PIPING PASSES THROUGH FIRE RATED FLOORS, WALLS, OR PARTITIONS, THE SLEEVES SHALL BE COMPLETELY SEALED WITH A FIRE STOP MATERIAL THAT IS U.L. LISTED (EQUAL TO DOW CORNING) AND ACCEPTED BY THE BUILDING DEPARTMENT AND FIRE DEPARTMENT AS BEING SUITABLE FOR THE SERVICE. THIS MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS PUBLISHED INSTRUCTIONS IN ORDER TO MAINTAIN THE FIRE RATING OF THE PENETRATED WALL, FLOOR, OR PARTITION. INSTALLATION SHALL BE A THROUGH-PENETRATION FIRESTOP SYSTEM INSTALLED AS TESTED IN ACCORDANCE WITH ASTM AND UL. THE FIRE RATING SHALL MATCH THE RATING OF THE BARRIER BEING PENETRATED.
- SUBMIT ONE (1) PDF OR SW (6) SETS OF SHOP DRAWINGS, CONTROL DIAGRAMS, AND EQUIPMENT CUTS TO THE ENGINEER FOR APPROVAL PRIOR TO STARTING RELATED WORK. SHOP DRAWINGS SHALL INCLUDE MANUFACTURERS NAMES, CATALOG NUMBERS, CUTS, DIAGRAMS AND OTHER SUCH DESCRIPTIVE DATA AS MAY BE REQUIRED TO IDENTIFY AND REVIEW THE EQUIPMENT. SUBMITTALS SHALL BE IN LOGICAL GROUPS, PARTIAL SUBMITTALS WILL NOT BE REVIEWED.
- UPON COMPLETION OF CONSTRUCTION, SUPPLY THE ENGINEER WITH ONE COMPLETE SET OF FULL SIZE AS-BUILT DRAWINGS. PROVIDE THE OWNER WITH THREE (3) SETS OF OPERATION AND MAINTENANCE MANUALS FOR EACH TYPE OF EQUIPMENT INSTALLED.
- THIS CONTRACTOR SHALL ASSUME ALL ADDED EXPENSES TO ALL TRADES ASSOCIATED WITH THE INSTALLATION OF SUBMITTED AND APPROVED ALTERNATE EQUIPMENT.
- THE CONTRACTOR SHALL COORDINATE THE LAYOUT OF THE FIRE ROOM WITH ALL OTHER DISCIPLINES, ESPECIALLY THE FIRE ALARM AND FIRE PROTECTION DESIGN-BUILD CONTRACTORS PRIOR TO ANY WORK.
- IF ANY CHANGES ARE MADE TO ACCOMMODATE FIELD CONDITIONS NOTIFY THE ENGINEER IMMEDIATELY OF WHAT THE CHANGES WERE, THE REASON FOR THE CHANGES, AND THE COST IMPACTS.

ELECTRICAL LEGEND

NOTE: NOT ALL ITEMS APPEAR ON DRAWINGS. SYMBOLS MAY DIFFER FROM EXISTING AND DEMO WORK OR DEVICES REFERENCED FROM DRAWINGS BY OTHERS.

POWER AND LIGHTING		LOW VOLTAGE SYSTEMS	
	GROUNDING DUPLEX SWITCH RECEPTACLE		TELEPHONE TERMINAL BOARD
	GROUNDING SPLIT-WIRED RECEPTACLE		FLOOR/CEILING MOUNTED DATA OUTLET
	GROUNDING DUPLEX RECEPTACLE		FLOOR/CEILING MOUNTED TELEPHONE OUTLET
	GROUNDING QUAD DUPLEX RECEPTACLE		DATA OUTLET
	SPECIAL PURPOSE RECEPTACLE		TELEPHONE/DATA OUTLET, PROJECT STANDARD
	FLOOR/CEILING MOUNTED RECEPTACLE		TELEPHONE OUTLET
	JUNCTION BOX		CATV/MONITOR AV OUTLET
	WALL MOUNTED JUNCTION BOX		SPEAKER
	EQUIPMENT DISCONNECT SWITCH		FIRE ALARM REMOTE ANNUNCIATOR PANEL
	EQUIPMENT FUSED DISCONNECT SWITCH		S-SMOKE, T-THEAT DETECTOR
	THERMAL OVERLOAD SWITCH		DUCT FIRE DETECTOR
	ELECTRICAL PANEL BOARD		ABBREVIATIONS
	TRANSFORMER		EWC - ELECTRIC WATER COOLER
	CIRCUIT # # HOMERUN TO PANEL X		GFI - GROUND FAULT INTERRUPTING
	CIRCUIT # # HOMERUN TO PANEL X		AFCI - ARC FAULT INTERRUPTING
	CIRCUIT # # HOMERUN TO PANEL X		CCT - CIRCUIT
	CIRCUIT # # HOMERUN TO PANEL X		E.C. - ELECTRICAL CONTRACTOR
	CIRCUIT # # HOMERUN TO PANEL X		AS - ABOVE COUNTER GFI - VERIFY HEIGHT
	CIRCUIT # # HOMERUN TO PANEL X		AC - ABOVE COUNTER - VERIFY HEIGHT
	CIRCUIT # # HOMERUN TO PANEL X		WP - WEATHER PROOF
	CIRCUIT # # HOMERUN TO PANEL X		TTB - TELEPHONE TERMINAL BOARD
	CIRCUIT # # HOMERUN TO PANEL X		AF - ABOVE FINISH FLOOR
	CIRCUIT # # HOMERUN TO PANEL X		AHJ - AUTHORITY HAVING JURISDICTION
	CIRCUIT # # HOMERUN TO PANEL X		B - EXISTING TO REMAIN
	CIRCUIT # # HOMERUN TO PANEL X		E - EXISTING TO BE REMOVED
	CIRCUIT # # HOMERUN TO PANEL X		ER - EXISTING TO BE RELOCATED
	CIRCUIT # # HOMERUN TO PANEL X		R - RELOCATE/RELOCATE LOCATION
	CIRCUIT # # HOMERUN TO PANEL X		REFERENCE SYMBOLS
	CIRCUIT # # HOMERUN TO PANEL X		KEYED NOTE
	CIRCUIT # # HOMERUN TO PANEL X		EQUIPMENT - SEE SCHEDULE
	CIRCUIT # # HOMERUN TO PANEL X		FEEDER - SEE SCHEDULE
	CIRCUIT # # HOMERUN TO PANEL X		TRANSFORMER WITH GROUNDING
	CIRCUIT # # HOMERUN TO PANEL X		HAND OVERCURRENT DEVICES SEE TRANSFORMER SCHEDULE

CODE COMPLIANCE STATEMENT

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES:

- NATIONAL ELECTRIC CODE (NEC) : 2023
- INTERNATIONAL ENERGY CONSERVATION CODE (IECC) : 2021

FEEDER SCHEDULE

ALUMINUM		COPPER	
14[W-350kcmil, 600kcmil G, 3/1/2"]	3000/W	8[W-500kcmil, 400kcmil G, 3-1/2"]	3
7[W-500kcmil, 400kcmil G, 3-1/2"]	2000/W	6[W-400kcmil, 250kcmil G, 3"]	3
8[W-250kcmil, 350kcmil G, 3"]	1600/W	5[W-400kcmil, 4/0G, 3"]	3
4[W-500kcmil, 250kcmil G, 3-1/2"]	1200/W	4[W-350kcmil, 3/0G, 3"]	3
4[W-350kcmil, 4/0G, 3"]	1000/W	3[W-400kcmil, 3/0G, 3"]	3
3[W-400kcmil, 3/0G, 3"]	800/W	3[W-250kcmil, 1/0G, 3"]	3
3[W-350kcmil, 3/0G, 3"]	750/W	2[W-350kcmil, #1G, 3"]	3
2[W-500kcmil, 2/0G, 3-1/2"]	600/W	2[W-250kcmil, #2G, 3"]	3
2[W-350kcmil, 1/0G, 3"]	500/W	2[W-250kcmil, #1G, 3"]	3
2[W-250kcmil, #1G, 3"]	400/W	2[W-2/0, #3G, 2-1/2"]	3
2[W-4/0, #1G, 2-1/2"]	350/W	2[W-350kcmil, 2/0G, 3-1/2"]	3
W-500kcmil, #2G, 3-1/2"]	300/W	W-350kcmil, #4G, 3"]	3
W-350kcmil, #2G, 3-1/2"]	250/W	W-250kcmil, #4G, 3"]	3
W-300kcmil, #2G, 3"]	225/W	W-4/0, #4G, 2"]	3
W-250kcmil, #4G, 2-1/2"]	200/W	W-3/0, #6G, 2"]	3
W-4/0, #4G, 2"]	175/W	W-2/0, #6G, 2"]	3
W-3/0, #4G, 2"]	150/W	W-1/0, #6G, 2"]	3
W-2/0, #4G, 2"]	125/W	W-1/0, #6G, 2"]	3
W-2/0, #4G, 2"]	110/W	W-1/0, #6G, 2"]	3
W-1/0, #6G, 2"]	100/W	W-1/0, #6G, 2"]	3
W-1/0, #6G, 2"]	90/W	W-1/0, #6G, 2"]	3
W-1/0, #6G, 2"]	80/W	W-1/0, #6G, 2"]	3
W-1/0, #6G, 2"]	70/W	W-1/0, #6G, 2"]	3
W-1/0, #6G, 2"]	60/W	W-1/0, #6G, 2"]	3
W-1/0, #6G, 2"]	50/W	W-1/0, #6G, 2"]	3
W-1/0, #6G, 2"]	40/W	W-1/0, #6G, 2"]	3
W-1/0, #6G, 2"]	30/W	W-1/0, #6G, 2"]	3
W-1/0, #6G, 2"]	20/W	W-1/0, #6G, 2"]	3

This table indicates minimum conductor size for feeders of the ampacity indicated where #/W indicates the ampacity/numbers of wire. A #5/W indicates no ground.

Service Ground Table		Equipment Ground Table	
ALUMINUM	COPPER	ALUMINUM	COPPER
150G	#4	20EG	#10
200G	#2	40EG	#8
300G	1/0	100EG	#6
500G	3/0	200EG	#4
800G	4/0	300EG	#2
>800G	250	400EG	#3

The service ground chart indicates the minimum service ground based on #/G where # is the ampacity from the chart above, and the equipment ground chart indicates the minimum equipment grounding conductor size #EG where # is the rating/setting of the overcurrent device protecting the conductors and equipment.

All conductors shall be COPPER, unless denoted by 'AL'

Where discrepancies occur between the Feeder schedule and the grounding charts, the chart shall override the feeder schedule and the NEC shall override all schedules.

The master electrician shall be responsible for ensuring that no feeders or branch circuits are installed in a manner or sized in such a way as to violate the NEC.

Ampacities are based on NEC table 310.16 utilizing the 60 degree column up to 100 Amps and the 75 degree column above 100 Amps. Service ground conductor sizes are per NEC table 250.66 and equipment ground is per NEC table 250.122.

Transformer Schedule	
Overcurrent Protection 480V, 3Ø	Overcurrent Protection 208V, 3Ø
20A	15 - #8
50A	30 - #6
70A	45 - #6
125A	75 - #2
175A	112.5 - #2
225A	150 - 1/0
350A	225 - 2/0

Notes: Primary shall be 3-wire and secondary shall be 4-wire unless noted otherwise. All transformers 45kVA and below shall be suspended unless noted otherwise. All transformers over 45kVA shall be floor mounted unless noted otherwise. Primary and secondary feeders shall be cut per the circuit breaker size and shall be 3-wire on the primary and 4-wire on the secondary. For example all 45kVA 480/208V transformers with a 480V primary will be fed with a 70/3 on the primary and a 150/4 on the secondary (the bonding and grounding shall be per NEC 250.30A).

Overcurrent Protection 480V, 3Ø	kVA - Ground	Overcurrent Protection 208V, 3Ø
20A	15 - #8	50A
50A	30 - #6	100A
70A	45 - #6	150A
125A	75 - #2	250A
175A	112.5 - #2	400A
225A	150 - 1/0	500A
350A	225 - 2/0	800A

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PANEL SCHEDULE: H1										April 21, 2025			
PROJECT:		Arthrex West		VOLTAGE L-L:		480		Circuit Panel Key:					
LOCATION:		Electric Room		VOLTAGE L-G:		277		Normal: New Load/Breaker					
JOB NO.:		2024-111		SYSTEM:		3Ø, 4-WIRE		Bold: New Load/Exist Brkr					
COMMENTS:		Existing Panelboard						Italic: Excess Load/Bkr					
BUS RATING:				400A		S.C.RMS RATING:		24,000 AIC					
MAIN O.C. DEVICE:				400A MCB		FED FROM:		MSB					
MOUNTING:				Surface									
CR NO	CIRCUIT	BREAKER	CONNECTED	NEC DEMAND	DESCRIPTION OF	PHASE	DESCRIPTION OF	NEC DEMAND	CONNECTED	CIRCUIT	BREAKER	CR NO	
	AMPS	POLE	LOAD (VA)	FACTOR	LOAD SERVED		LOAD SERVED	FACTOR	LOAD (VA)		POLE	AMPS	
1	15	3	2825	1.00	RTU-E1	A	Lights - Inventory	1.25	2254	1	20	2	
3	15	3	2825	1.00	RTU-E1	B	Lights - Inventory	1.25	2576	1	20	4	
5	15	3	2825	1.00	RTU-E1	C	Lights - Inventory	1.25	966	1	20	6	
7	25	3	4294	1.00	RTU-E2	A	Lights - Prep, lab, mech	1.25	906	1	20	8	
9	25	3	4294	1.00	RTU-E2	B	Lights - Lobby ship	1.25	935	1	20	10	
11	25	3	4294	1.00	RTU-E2	C	Lights - Classroom 2nd	1.25	1165	1	20	12	
13	30	3	7202	1.00	RTU-E3	A	Lights - Offices/Showcase	1.25	3379	1	20	14	
15	30	3	7202	1.00	RTU-E3	B	Lights - Corridors	1.25	699	1	20	16	
17	30	3	7202	1.00	RTU-E3	C	Lights - Spores	1.25		1	20	18	
19	30	3	7202	1.00	RTU-E4	A	Lights - Spores	1.25		1	20	20	
21	30	3	7202	1.00	RTU-E4	B	Lights - eb,ee,ef,eh	1.25	1060	1	20	22	
23	30	3	7202	1.00	RTU-E4	C	Lights - Parking Lot	1.25	1243	1	20	24	
25	30	3	6953	1.00	RTU-E5	A	Future Electric Car Charger #1	1.25	16667	3	100	26	
27	30	3	6953	1.00	RTU-E5	B	Future Electric Car Charger #1	1.25	16667	3	100	28	
29	30	3	6953	1.00	RTU-E5	C	Future Electric Car Charger #1	1.25	16667	3	100	30	
31	50	3	11551	1.00	RTU-E6	A	Future Electric Car Charger #2	1.25	16667	3	100	32	
33	50	3	11551	1.00	RTU-E6	B	Future Electric Car Charger #2	1.25	16667	3	100	34	
35	50	3	11551	1.00	RTU-E6	C	Future Electric Car Charger #2	1.25	16667	3	100	36	
37	30	3	6953	1.00	RTU-E6	A	Suction Pump	1.00	2105	3	15	38	
39	30	3	6953	1.00	RTU-E6	B	Suction Pump	1.00	2105	3	15	40	
41	30	3	6953	1.00	RTU-E6	C	Suction Pump	1.00	2105	3	15	42	
CONNECTED LOAD:						DEMAND LOAD:							
PHASE A (VA): 88,957						PHASE A (VA): 98,925							
PHASE B (VA): 87,688						PHASE B (VA): 97,338							
PHASE C (VA): 85,722						PHASE C (VA): 94,962							
TOTAL LOAD (VA): 262,366						TOTAL DEMAND LOAD (VA): 291,232							
						350.31 A							
NOTES:													
1.													



**ARTHREX WEST RENOVATION
25 INVERNESS DRIVE EAST
ENGLEWOOD, CO 80112**

[illegible]

POWER PLAN

PHASE
PR NO 24218/24-11
PA/PM

E1.0



1 POWER PLAN
E1.0 SCALE: 1/8"=1'-0"

SCALE: 1/8"=1'-0"

POWER PLAN GENERAL NOTES:

1. PROVIDE OUTLET WITHIN 25' OF EQUIPMENT IN ACCORDANCE WITH NEC 210.63 AND 210.883. PROVIDE WEATHERPROOF GFI OUTLET ON ROOFTOPS WITHIN 25' OF ROOFTOP EQUIPMENT.
2. FIELD VERIFY FINAL LOCATION OF ALL EQUIPMENT WITH PROVIDER PRIOR TO ROUGH-IN.
3. ALL RECEPTACLES IN BATHROOMS, KITCHENS, ROOFTOPS, OUTDOORS, AND WORK AREAS 6FT. OR A SINK SHALL BE GFCI (OR SERVED BY A GFI CIRCUIT BREAKER) PER NEC 210.8(B). THE E.C. SHALL PROVIDE GFCI OUTLETS (OR CIRCUIT BREAKERS) IN ALL LOCATIONS REQUIRED BY THE NEC.
4. ALL RECEPTACLES IN DWELLING UNITS, GUEST ROOMS, AND CHILD CARE FACILITIES (AS SPECIFIED BY ARTICLE 406 OF THE NEC) SHALL BE LISTED AS TAMPER-RESISTANT RECEPTACLES.
5. PROVIDE CONNECTION TO TENANT SIGN. FIELD VERIFY ELECTRICAL REQUIREMENTS AND FINAL LOCATION WITH PROVIDER, TENANT AND LANDLORD. PROVIDE PHOTOCELL ON/TIMECLOCK OFF CONTROLS. PROVIDE ALL COMPONENTS NEEDED FOR A COMPLETE INSTALLATION.
6. NUMBERS NEXT TO DEVICES REFER TO CIRCUIT DESIGNATION IN UNIT PANEL UNLESS NOTED.
7. ALL TELE/DATA LOCATIONS SHALL INCLUDE 4" SQUARE J-BOX AND 3/4" CONDUIT TO CEILING SPACE. ALL TELEPHONE/DATA CABLE IS TO BE PLENUM RATED WIRE OR SHALL BE INSTALLED IN CONDUIT ABOVE CEILING OR IN WALLS.
8. PROVIDE ALL DEMOLITION WORK AS REQUIRED TO ACCOMMODATE THE NEW WORK AS INDICATED ON THE ELECTRICAL PLANS. FIELD VERIFY EXISTING CONDITIONS. PROVIDE ANY ADDITIONAL WORK NECESSARY AS REQUIRED TO PRESERVE EXISTING DEVICES AND BRANCH CIRCUIT COMPONENTS TO REMAIN. REFER TO THE ARCHITECTURAL PLANS FOR DEMOLITION SCOPE OF WORK AND VISIT THE SITE PRIOR TO BID TO DETERMINE THE ELECTRICAL SCOPE OF WORK REQUIRED.
9. THIS DESIGN IS DIAGRAMMATIC. REFER TO MANUFACTURER'S RECOMMENDATIONS AND INSTALLATION MANUALS FOR SPECIFIC LOCATIONS AND INSTALLATION DETAILS. REFER TO ARCHITECTURAL DRAWINGS FOR ANY DIMENSIONS.
10. ALL REUSED MATERIALS OR EQUIPMENT SHALL BE IN GOOD CONDITION AND THE SYSTEM SHALL BE IN COMPLIANCE WITH ALL APPLICABLE CODES AND IN GOOD WORKING ORDER AT THE COMPLETION OF THE PROJECT.

 POWER PLAN KEYED NOTES:

1. TV/MONITOR - PROVIDE POWER AND DATA/CATV JACKS AS REQUIRED IN CEILING AND PROVIDE RACEWAY TO VIDEO SOURCE. FIELD VERIFY REQUIREMENTS WITH TENANT AND TV PROVIDER. FIELD VERIFY FINAL LOCATION WITH ARCHITECT PRIOR TO ANY ROUGH-IN.
2. PROVIDE ELECTRICAL CONNECTIONS FOR WALL SIGN ILLUMINATION. FIELD VERIFY FINAL LOCATION(S) AND ELECTRICAL REQUIREMENTS WITH ARCHITECT/OWNER PRIOR TO ANY WORK.
3. PROVIDE WALL OUTLET AND DATA PORT FOR UNDER CARPET RACEWAY. FIELD VERIFY EXISTING CONDITIONS, FINAL LOCATIONS, ROUTING, FLOORING SYSTEM, AND CONNECTION REQUIREMENTS PRIOR TO WORK. INSTALL IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS, ALL APPLICABLE CODES, AND THE AHJ.



1 POWER DEMO PLAN
E1.1 SCALE: 1/8"=1'-0"

- DEMO PLAN GENERAL NOTES:
- DEMOLISH AND REMOVE EQUIPMENT SUPPORTS, CONDUITS, WIRE, AND ALL OTHER EXISTING ITEMS DESIGNATED FOR REMOVAL AS INDICATED ON THE DRAWINGS AND IN THESE SPECIFICATIONS. DO NOT USE EQUIPMENT OR METHODS THAT WILL CAUSE DAMAGE TO ADJACENT CONSTRUCTION, DESIGNATED AS TO REMAIN SYSTEMS, EQUIPMENT OR SPACES.
 - VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. BRING ANY DISCREPANCIES FROM THE DRAWINGS AND NOTES TO THE ENGINEER IMMEDIATELY. MINOR CHANGES IN THE SCOPE OF THE DEMOLITION WORK SHALL NOT JUSTIFY AN ADDITIONAL COST.
 - PORTIONS OF EXISTING SYSTEMS MAY BE SHOWN FOR CLARITY EVEN THOUGH IT MAY NOT BE NECESSARY TO MODIFY OR REVISE THEM. ALL EXISTING SYSTEMS ARE SHOWN BASED ON ORIGINAL OR REMODEL BUILDING DRAWINGS. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS.
 - ALL WORK MUST BE COORDINATED AND SCHEDULED WITH THE OWNER AND OCCUPANCIES OF THIS BUILDING SO AS TO PROVIDE THE LEAST AMOUNT OF DISRUPTION OF BUILDING ACTIVITIES AS POSSIBLE.
 - ALL CUTTING AND PATCHING IN THE EXISTING BUILDING SHALL BE DONE BY THE CONTRACTOR. THIS CUTTING AND PATCHING, UNLESS NOTED OTHERWISE, SHALL INCLUDE PROVIDING AND INSTALLING ALL STEEL LINTELS REQUIRED FOR OPENINGS IN MASONRY WALLS AND BEARING WALLS AND STEEL FRAMES FOR NEW ROOF OPENINGS.
 - MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN, KEEP IN SERVICE, AND PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS. DO NOT INTERRUPT EXISTING UTILITIES SERVING OCCUPIED OR USED FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING THE INTERRUPTIONS TO EXISTING UTILITIES AS ACCEPTABLE TO GOVERNING AUTHORITIES.
 - VERIFY WITH THE OWNER ALL ITEMS TO BE SALVAGED. ALL ITEMS THAT ARE NOT DIRECTED IN THE FIELD (OR BY OTHER MEANS) TO BE SALVAGED OR TURNED OVER TO THE OWNER SHALL BE CONSIDERED SCRAP.
 - MAINTAIN ALL EXISTING CIRCUITS TO ITEMS THAT REMAIN IN USE. REROUTE AND REWORK ALL CONDUITS, WIRING, ETC. AS REQUIRED.
 - EXISTING OUTLETS WHICH ARE TO BE REMOVED AND HAVE CONDUITS RISING FROM THE FLOOR SLAB SHALL HAVE THE CONDUITS CUT BELOW FLOOR LEVEL. ABANDON OR REWORK AS REQUIRED TO PROVIDE FEEDTHROUGH SERVICE TO OTHER REMAINING OUTLETS. PULL NEW WIRE BETWEEN REMAINING OUTLETS AFFECTED BY FEED-THROUGH. PATCH FLOOR AS REQUIRED TO RESTORE TO ORIGINAL CONDITION.
 - ABANDONED OUTLET BOXES SHALL BE CLOSED WITH BLANK COVER PLATES. IF EQUIPPED WITH DEVICES, THE DEVICES SHALL BE REMOVED AND THE CONDUCTORS REMOVED TO THE ADJACENT OUTLET OR RECONNECTED AS REQUIRED TO PROVIDE FEED-THROUGH SERVICE.
 - DISCONNECT AND REMOVE EXISTING CONDUIT AND WIRING FEEDING REMOVED LIGHTS BACK TO SOURCE OR TO FIXTURES TO REMAIN IN USE. DISCONNECT ALL DEVICES IN OR ON WALLS TO BE REMOVED. ALL EXISTING WIRING SYSTEMS WHICH ARE DISCONNECTED AND DESIGNATED FOR REMOVAL SHALL BE COMPLETELY REMOVED BACK TO SOURCE.
 - PULL CONDUCTORS FROM ABANDONED CONCEALED RACEWAY SYSTEMS UNLESS OTHERWISE INSTRUCTED. ANY SECTION OF RACEWAY SYSTEM EXPOSED DUE TO REMODELING SHALL BE CUT FLUSH AT EXPOSING SURFACE. CONCEALED
 - RACEWAYS NEED NOT BE REMOVED EXCEPT WHERE THEY INTERFERE WITH REMODELING OR WHERE DIRECTED IN THE FIELD.
 - DISCONNECT ALL ELECTRICAL CONNECTIONS TO EQUIPMENT DESIGNATED TO BE REMOVED BY OTHER TRADES.
 - THE DRAWINGS INDICATE THE GENERAL CONCEPT OF THE DEMOLITION TO BE PERFORMED, AND ARE NOT INTENDED TO BE TOTALLY INCLUSIVE.
 - ALL EXISTING WORK DAMAGED BY WORK IN THIS CONTRACT AND INTENDED TO REMAIN SHALL BE REPAIRED TO MATCH ADJACENT FINISHED. REPAIR TO EXISTING CONDITION OR REPLACE ANY ITEMS DAMAGED BY CONTRACTOR WHICH WERE NOT SCHEDULES OR NOTES. CONTRACTOR RESPONSIBLE FOR THE REMOVAL OF DAMAGED ITEMS.
 - DASHED LINES INDICATE ALL EQUIPMENT TO BE REMOVED. FIELD VERIFY ALL EQUIPMENT TO BE DEMOLISHED PRIOR TO ANY DEMOLITION AND BIDDING. CONTRACTOR MUST INCLUDE ALL COST TO REMOVE ITEMS MADE OBSOLETE. CONTRACTOR GIVES OWNER FIRST RIGHTS OF REFUSAL ON ANY EXISTING EQUIPMENT THE OWNER MAY WANT TO KEEP. IF OWNER DECIDES SAID ITEM IS TO BE REMOVED THEN CONTRACTOR IS TO REMOVE FROM THE PROJECT SITE AS REQUIRED.
 - THIS DRAWING REPRESENTS INFORMATION OBTAINED FROM NON-DESTRUCTIVE FIELD SURVEY. VERIFY BY ON-SITE OBSERVATION THE EXTENT OF WORK PRIOR TO SUBMISSION OF BID.
 - REFER TO ARCHITECTURAL DRAWINGS FOR ALL DEMOLITION WORK NOT RELATED TO MEP.



◆ LIGHTING PLAN KEYED NOTES:

1. WALLBOX DIMMER/OCCUPANCY SENSOR SWITCH - PROVIDE COOPER - EATON OSW-D-010-* OR EQUAL RATED FOR CONNECTED LOAD TYPE AND WATTAGE.
2. WALLBOX DIMMER SWITCH - PROVIDE COOPER - EATON SF10P-* OR EQUAL RATED FOR CONNECTED LOAD TYPE AND WATTAGE.
3. CONNECT SURGICAL LIGHT TO POWER PER MANUFACTURERS REQUIREMENTS. PROVIDE ALL REQUIRED MOUNTING AND CONTROLS IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS. CIRCUIT TO H1-14 FOR 277 VOLT POWER, OR L1-6 FOR 120 VOLT POWER IN ACCORDANCE WITH MANUFACTURERS REQUIREMENTS. FIELD VERIFY EXISTING CONDITIONS, FINAL LOCATIONS, AND MOUNTING HEIGHT PRIOR TO WORK.

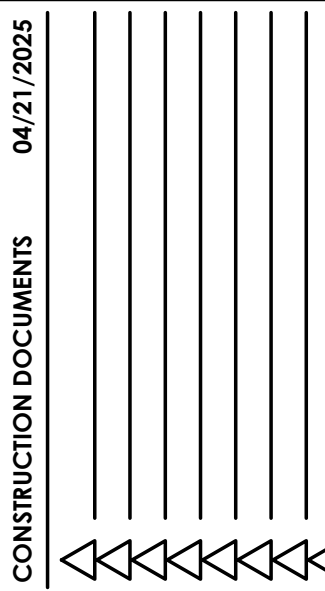
1 LIGHTING PLAN
E2.0 SCALE: 1/8"=1'-0"

LIGHTING PLAN GENERAL NOTES:

1. CONNECT EGRESS LIGHTING FIXTURES AND EXIT SIGNS TO AREA LIGHTING CIRCUIT AHEAD OF ANY SWITCH PER NEC 700-1.2(F) INCLUDING ANY NIGHT LIGHTS. FIXTURES SHOWN SHADED OR LABELED ARE EMERGENCY EGRESS (EM) WITH BATTERY PACK, NIGHT LIGHT (NL) OR BOTH (EM/NL). REMOVE ANY HOUSE PANEL CIRCUITS SERVING EXISTING EMERGENCY AND EXIT LIGHTS AND RECONNECT TO THE TENANT PANEL.
2. PROVIDE OUTLET IN ACCESSIBLE LOCATION AT TENANT ENTRANCE FOR SIGN PER NEC 600-5.
3. NUMBERS NEXT TO DEVICES REFER TO CIRCUIT DESIGNATION IN PANEL H1 UNLESS NOTED.
4. PER IECC 405.2, OCCUPANCY SENSOR CONTROLS SHALL BE CAPABLE OF MONITORING OCCUPANT ACTIVITY TO CONTROL LIGHT LEVELS BOTH WHEN OCCUPIED OR UNOCCUPIED, AND MONITORING AMBIENT LIGHT BOTH ELECTRIC AND DAYLIGHT TO CONTROL DESIRED LIGHT LEVEL. FOR EACH CONTROL STRATEGY, CONFIGURATION AND RECONFIGURATION OF PERFORMANCE PARAMETERS SHALL INCLUDE: BRIGHT AND DIM SETPOINTS, TIMEOUTS, DIMMING FADE RATES, SENSOR SENSITIVITY ADJUSTMENTS, AND WIRELESS ZONING CONFIGURATIONS. EXEMPT AREAS ARE SECURITY OR EMERGENCY AREAS; INTERIOR EXIT STAIRWAYS, RAMPS AND PASSAGEWAYS; EMERGENCY EGRESS LIGHTING THAT IS NORMALLY OFF.
5. PER IECC 405.2.1, OCCUPANCY SENSOR CONTROLS SHALL BE INSTALLED IN THE FOLLOWING SPACES: CLASSROOMS/LECTURE/TRAINING ROOMS, CONFERENCE/MEETING/MULTIPURPOSE ROOMS, COPY/PRINT ROOMS, LOUNGES/BREAKROOMS, ENCLOSED OFFICES, OPEN OFFICES, RESTROOMS, STORAGE ROOMS, LOCKER ROOMS, WAREHOUSE STORAGE AREAS, AND OTHER SPACES 300 SQUARE FEET OR LESS ENCLOSED BY FLOOR-TO-CEILING HEIGHT PARTITIONS.
6. PER IECC 405.2.1.1, OCCUPANT SENSOR CONTROL FUNCTION, EXCLUDING WAREHOUSES AND OPEN OFFICE SPACES, SHALL AUTOMATICALLY TURN OFF LIGHTS WITHIN 20 MINUTES AFTER ALL OCCUPANTS HAVE LEFT THE SPACE. THEY SHALL BE MANUAL ON OR CONTROLLED TO AUTOMATICALLY TURN ON THE LIGHTING TO NOT MORE THAN 50% POWER (CORRIDORS, STAIRWAYS, RESTROOMS, PRIMARY ENTRANCES AND LOBBIES, AND AREAS WHERE MANUAL OPERATION WOULD ENDANGER THE OCCUPANTS OR SECURITY OF THE ROOM OR OCCUPANTS ARE EXEMPT). THEY SHALL ALSO INCORPORATE MANUAL CONTROLS TO ALLOW OCCUPANTS TO TURN OFF THE LIGHTING.
7. PER IECC 405.2.2, ANY AREA OF THE BUILDING NOT PROVIDED WITH AN OCCUPANT SENSOR CONTROL COMPLYING WITH SECTION 405.2.1.1 SHALL BE PROVIDED WITH TIMECLOCK CONTROLS COMPLYING WITH SECTION 405.2.2.1. EXCEPTION: WHERE MANUAL CONTROL PROVIDES LIGHT REDUCTION IN ACCORDANCE WITH SECTION 405.2.2.2, TIMECLOCK CONTROLS SHALL NOT BE REQUIRED IN THE FOLLOWING: SPACES WHERE PATIENT CARE IS DIRECTLY PROVIDED; SPACES WHERE AN AUTOMATIC SHUT-OFF WOULD ENDANGER OCCUPANT SAFETY OR SECURITY; LIGHTING INTENDED FOR CONTINUOUS OPERATION; SHOP AND LABORATORY CLASSROOMS.
8. DAYLIGHT RESPONSIVE CONTROLS COMPLYING WITH IECC 405.2.3.1 SHALL BE PROVIDED WITHIN DAYLIGHT ZONES IN SPACES TOTALING MORE THAN 150W OF GENERAL LIGHTING WITHIN SIDELIT AND TOPLIT ZONES. PATIENT CARE FACILITIES, APPLICATION LIGHTING, AND SIDELIT ZONES IN FIRST FLOORS ABOVE GRADE IN GROUP A-2 AND GROUP M OCCUPANCIES ARE EXEMPT. TOPLIT ZONES AND SIDELIT ZONES MUST BE CONTROLLED INDEPENDENTLY FROM EACH OTHER. DAYLIGHT RESPONSIVE CONTROLS MUST BE CONFIGURED SUCH THAT THEY MAY BE CALIBRATED FROM WITHIN THE SPACE, AND CALIBRATION MECHANISMS MUST BE IN A LOCATION WITH EASY ACCESS. WHERE LOCATED IN OFFICES, CLASSROOMS, LABORATORIES AND LIBRARY READING ROOMS, CONTROLS SHALL DIM LIGHTS CONTINUOUSLY FROM FULL LIGHT TO 15% OF FULL OUTPUT OR LOWER. DAYLIGHT RESPONSIVE CONTROLS MUST BE CONFIGURED TO BE ABLE TO SHUT OFF ALL CONTROLLED LIGHTS. LIGHTS IN SIDELIT ZONES FACING DIFFERENT CARDINAL DIRECTIONS (NORTH, SOUTH, EAST, WEST) MUST BE CONTROLLED INDEPENDENTLY FROM EACH OTHER.
- 8.1. SIDELIT DAYLIGHT ZONES EXTEND INTO THE SPACE 1 TIMES THE HEIGHT OF THE FENESTRATION TO THE NEAREST WALL, WHICHEVER IS SHORTER, AND ARE AS WIDE AS THE FENESTRATION PLUS 2'-0" ON THE END OR TO THE NEAREST WALL PER IECC 405.2.3.2.
- 8.2. TOPLIT DAYLIGHT ZONES EXTEND IN ALL DIRECTIONS FROM THE EDGE OF THE ROOF FENESTRATION UP TO 0.7 TIMES THE CEILING HEIGHT, OR TO THE NEAREST OBSTRUCTION 0.7 TIMES THE CEILING HEIGHT PER IECC 405.2.3.3.
9. EACH SWITCH, LIGHT, RECEPTACLE AND ALL OTHER DEVICES SHALL BE PROVIDED AND INSTALLED WITH A GALVANIZED OR SHERARDIZED PRESSED STEEL JUNCTION BOX OF NOT LESS THAN NO. 14 U.S. GAUGE STEEL CONDUITS SHALL BE FASTENED WITH LOCKNUTS AND BUSHINGS AND ALL UNUSED KNOCKOUTS MUST BE LEFT SEALED. THERE MUST BE SUFFICIENT ROOM FOR WIRES AND BUSHINGS, THE MINIMUM DEPTH SHALL BE 2.5", DEEP BOXES SHALL BE INSTALLED WHERE REQUIRED. BOXES SHALL BE SECURELY AND ADEQUATELY SUPPORTED.
10. THIS DESIGN IS DIAGRAMMATICAL. REFER TO MANUFACTURERS RECOMMENDATIONS AND INSTALLATION MANUALS FOR SPECIFIC LOCATIONS AND INSTALLATION DETAILS. REFER TO ARCHITECTURAL DRAWINGS FOR ANY DIMENSIONS.
11. ALL REUSED MATERIALS OR EQUIPMENT SHALL BE IN GOOD CONDITION AND THE SYSTEM SHALL BE IN COMPLIANCE WITH ALL APPLICABLE CODES AND IN GOOD WORKING ORDER AT THE COMPLETION OF THE PROJECT.
12. DEDICATED CIRCUITS SHALL BE WIRE WITH DEDICATED GROUND AND NEUTRAL CONDUCTORS.

THE DRAWING AND DESIGN WITHIN THIS HARD COPY OR DIGITAL FILE IS THE PROPERTY AND CREATION OF MARK ARCHITECTURE AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN CONSENT OF MARK ARCHITECTURE.
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ARTHREX WEST RENOVATION
25 INVERNESS DRIVE EAST
ENGLEWOOD, CO 80112



LIGHTING PLAN

PHASE
PR NO 24218/24-111
PA/PM

E2.0



**ARTHREX WEST RENOVATION
25 INVERNESS DRIVE EAST
ENGLEWOOD, CO 80112**

[illegible]

LIGHTING DEMO PLAN

PHASE	
PR NO	24218/24-111
PA/PM	

E2.1



19600 E Parker Square Dr., B100, Parker, CO 80134
(303) 646-4770 Direct | John@kVAconsulting.net

1. DEMOLISH AND REMOVE EQUIPMENT SUPPORTS, CONDUITS, WIRE, AND ALL OTHER EXISTING ITEMS DESIGNATED FOR REMOVAL AS INDICATED ON THE DRAWINGS AND IN THESE SPECIFICATIONS. DO NOT USE EQUIPMENT OR METHODS THAT WILL CAUSE DAMAGE TO ADJACENT CONSTRUCTION, DESIGNATED AS TO REMAIN SYSTEMS, EQUIPMENT OR SPACES.
2. VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. BRING ANY DISCREPANCIES FROM THE DRAWINGS AND NOTES TO THE ENGINEER IMMEDIATELY. MINOR CHANGES IN THE SCOPE OF THE DEMOLITION WORK SHALL NOT JUSTIFY AN ADDITIONAL COST.
3. PORTIONS OF EXISTING SYSTEMS MAY BE SHOWN FOR CLARITY EVEN THOUGH IT MAY NOT BE NECESSARY TO MODIFY OR REVISE THEM. ALL EXISTING SYSTEMS ARE SHOWN BASED ON ORIGINAL OR REMODEL BUILDING DRAWINGS. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS.
4. ALL WORK MUST BE COORDINATED AND SCHEDULED WITH THE OWNER AND OCCUPANTS OF THIS BUILDING SO AS TO PROVIDE THE LEAST AMOUNT OF DISRUPTION OF BUILDING ACTIVITIES AS POSSIBLE.
5. ALL CUTTING AND PATCHING IN THE EXISTING BUILDING SHALL BE DONE BY THE CONTRACTOR. THIS CUTTING AND PATCHING, UNLESS NOTED OTHERWISE, SHALL INCLUDE PROVIDING AND INSTALLING ALL STEEL LINTELS REQUIRED FOR OPENINGS IN MASONRY WALLS AND BEARING WALLS AND STEEL FRAMES FOR NEW ROOF OPENINGS.
6. MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN, KEEP IN SERVICE, AND PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS. DO NOT INTERRUPT EXISTING UTILITIES SERVING OCCUPIED OR USED FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING THE INTERRUPTIONS TO EXISTING UTILITIES AS ACCEPTABLE TO GOVERNING AUTHORITIES.
7. VERIFY WITH THE OWNER ALL ITEMS TO BE SALVAGED. ALL ITEMS THAT ARE NOT DIRECTED IN THE FIELD (OR BY OTHER MEANS) TO BE SALVAGED OR TURNED OVER TO THE OWNER SHALL BE CONSIDERED SCRAP.
8. MAINTAIN ALL EXISTING CIRCUITS TO ITEMS THAT REMAIN IN USE. REROUTE AND REWORK ALL CONDUITS, WIRING, ETC. AS REQUIRED.
9. EXISTING OUTLETS WHICH ARE TO BE REMOVED AND HAVE CONDUITS RISING FROM THE FLOOR SLAB SHALL HAVE THE CONDUITS CUT BELOW FLOOR LEVEL. ABANDON OR REWORK AS REQUIRED TO PROVIDE FEEDTHROUGH SERVICE TO OTHER REMAINING OUTLETS. PULL NEW WIRE BETWEEN REMAINING OUTLETS AFFECTED BY FEED-THROUGH. PATCH FLOOR AS REQUIRED TO RESTORE TO ORIGINAL CONDITION.
10. ABANDONED OUTLET BOXES SHALL BE CLOSED WITH BLANK COVER PLATES. IF EQUIPPED WITH DEVICES, THE DEVICES SHALL BE REMOVED AND THE CONDUCTORS REMOVED TO THE ADJACENT OUTLET OR RECONNECTED AS REQUIRED TO PROVIDE FEED-THROUGH SERVICE.
11. DISCONNECT AND REMOVE EXISTING CONDUIT AND WIRING FEEDING REMOVED LIGHTS BACK TO SOURCE OR TO FIXTURES TO REMAIN IN USE. DISCONNECT ALL DEVICES IN OR ON WALLS TO BE REMOVED. ALL EXISTING WIRING SYSTEMS WHICH ARE DISCONNECTED AND DESIGNATED FOR REMOVAL SHALL BE COMPLETELY REMOVED BACK TO SOURCE.
12. PULL CONDUCTORS FROM ABANDONED CONCEALED RACEWAY SYSTEMS UNLESS OTHERWISE INSTRUCTED. ANY SECTION OF RACEWAY SYSTEM EXPOSED DUE TO REMODELING SHALL BE CUT FLUSH AT EXPOSING SURFACE. CONCEALED
13. RACEWAYS NEED NOT BE REMOVED EXCEPT WHERE THEY INTERFERE WITH REMODELING OR WHERE DIRECTED IN THE FIELD.
14. DISCONNECT ALL ELECTRICAL CONNECTIONS TO EQUIPMENT DESIGNATED TO BE REMOVED BY OTHER TRADES.
15. THE DRAWINGS INDICATE THE GENERAL CONCEPT OF THE DEMOLITION TO BE PERFORMED, AND ARE NOT INTENDED TO BE TOTALLY INCLUSIVE.
16. ALL EXISTING WORK DAMAGED BY WORK IN THIS CONTRACT AND INTENDED TO REMAIN SHALL BE REPAIRED TO MATCH ADJACENT FINISHED. REPAIR TO EXISTING CONDITION OR REPLACE ANY ITEMS DAMAGED BY CONTRACTOR WHICH WERE NOT SCHEDULED OR NOTES. CONTRACTOR RESPONSIBLE FOR THE REMOVAL OF DAMAGED ITEMS.
17. DASHED LINES INDICATE ALL EQUIPMENT TO BE REMOVED. FIELD VERIFY ALL EQUIPMENT TO BE DEMOLISHED PRIOR TO ANY DEMOLITION AND BIDDING. CONTRACTOR MUST INCLUDE ALL COST TO REMOVE ITEMS MADE OBSOLETE. CONTRACTOR GIVES OWNER FIRST RIGHTS OF REFUSAL ON ANY EXISTING EQUIPMENT THE OWNER MAY WANT TO KEEP. IF OWNER DECIDES SAID ITEM IS TO BE REMOVED THEN CONTRACTOR IS TO REMOVE FROM THE PROJECT SITE AS REQUIRED.
18. THIS DRAWING REPRESENTS INFORMATION OBTAINED FROM NON-DESTRUCTIVE FIELD SURVEY. VERIFY ON SITE OBSERVATION THE EXTENT OF WORK PRIOR TO SUBMISSION OF BID.
19. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DEMOLITION WORK NOT RELATED TO MEP.



1 LIGHTING DEMO PLAN
E2.1 SCALE: 1/8"=1'-0"



COMcheck Software Version COMcheckWeb
Interior Lighting Compliance Certificate

Project Information

Energy Code: 2021 IECC
Project Title: Gemini Mountain Medical
Project Type: Alteration

Construction Site: 25 Inverness Drive East
Englewood, Colorado 80112
Owner/Agent:
Designer/Contractor: John Tinsley
kVA Consulting
19600 E Parker Square Drive
Parker, Colorado 80134
7202736013
John@kVAconsulting.net

Allowed Interior Lighting Power

A Area Category	B Floor Area (ft2)	C Allowed Watts / ft2	D Allowed Watts
1-Office	2054	0.64	1315
Total Allowed Watts =			1315

Proposed Interior Lighting Power

A Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixture	D Fixture Watt.	E (C X D)
Office (2054 sq.ft.)				
LED: A: 2x4 Troffer: Other:	1	16	50	800
LED: B: Downlight: Other:	1	10	15	153
Track Lighting: Wattage based on 18 feet of track	0	0	144	144
Total Proposed Watts =			1097	

Interior Lighting PASSES

Interior Lighting Compliance Statement

Compliance Statement: The proposed interior lighting alteration project represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed interior lighting systems have been designed to meet the 2021 IECC requirements in COMcheck Version COMcheckWeb and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

Name - Title	Signature	Date

Project Title: Gemini Mountain Medical
Data filename: Report date: 04/21/25
Page 1 of 5



COMcheck Software Version COMcheckWeb
Inspection Checklist

Energy Code: 2021 IECC

Requirements: 0.0% were addressed directly in the COMcheck software

Text in the "Comments/Assumptions" column is provided by the user in the COMcheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exception is being claimed. Where compliance is itemized in a separate table, a reference to that table is provided.

Section # & Req.ID	Plan Review	Complies?	Comments/Assumptions
C103.2 [PR4] ¹	Plans, specifications, and/or calculations provide all information with which compliance can be determined for the interior lighting and electrical systems and equipment and document where exceptions to the standard are claimed. Information provided should include interior lighting power calculations, wattage of bulbs and ballasts, transformers and control devices.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

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Section # & Req.ID	Rough-In Electrical Inspection	Complies?	Comments/Assumptions
C405.2.4 C405.2.4.1 C405.2.4.2 [EL23] ²	Daylight zones provided with individual controls that control the lights independent of general area lighting. See code section C405.2.3 Daylight-responsive controls for applicable spaces, C405.2.3.1 Daylight responsive control function and section C405.2.3.2 Sidelit zone.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.5 [EL27] ¹	Additional interior lighting power allowed for special functions per the approved lighting plans and is automatically controlled and separated from general lighting.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.7 [EL26] ²	Low-voltage dry-type distribution electric transformers meet the minimum efficiency requirements of Table C405.6.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.8 [EL27] ²	Electric motors meet the minimum efficiency requirements of Tables C405.7(1) through C405.7(4). Efficiency verified through certification under an approved certification program or the equipment efficiency ratings shall be provided by motor manufacturer (where certification programs do not exist).	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.9.1 C405.9.2 [EL28] ¹	Escalators and moving walks comply with ASME A17.1/CSA B44 and have automatic controls configured to reduce speed to the minimum permitted speed in accordance with ASME A17.1/CSA B44 or applicable local code when not conveying passengers.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.10 [EL29] ²	Total voltage drop across the combination of feeders and branch circuits <= 5%.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.1.1 [EL30] ²	At least 90% of dwelling unit permanently installed lighting shall have lamp efficacy >= 65 lm/W or luminaires with efficacy >= 45 lm/W or comply with C405.2.4 or C405.3.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.11.1 C405.11.1 [EL31] ²	50% of 15/20 amp receptacles installed in enclosed offices, conference rooms, copy rooms, break rooms, classrooms and workstations and > 25% of branch circuit feeders for modular furniture will have automatic receptacle control in accordance with C405.11.1.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

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Section # & Req.ID	Rough-In Electrical Inspection	Complies?	Comments/Assumptions
C405.2.3.1 [EL22] ¹	Spaces required to have light-reduction controls have a manual control that allows the occupant to reduce the connected lighting load in a reasonably uniform illumination pattern >= 50 percent.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.1.1 C405.2.1.1 [EL18] ¹	Occupancy sensors installed in classrooms/lecture/training rooms, conference/meeting/multipurpose rooms, copy/print rooms, lounges/breakrooms, enclosed offices, open plan office areas, restrooms, storage rooms, locker rooms, corridors, warehouse storage areas, and other spaces <= 300 sqft that are enclosed by floor-to-ceiling height partitions. Reference section language C405.2.1.2 for control function in warehouses and section C405.2.1.3 for open plan office spaces.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.1.2 [EL19] ¹	Occupancy sensors control function in warehouses: in warehouses, the lighting in aiseways and open areas is controlled with occupant sensors that automatically reduce lighting power by 50% or more within 20 minutes of when the areas are unoccupied. The occupant sensors control lighting in each aisleway independently and do not control lighting beyond the aisleway being controlled by the sensor. Lights not turned off by occupant sensors is done so by time-switch.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.1.3 [EL20] ¹	Occupant sensor control function in open plan office areas: Occupant sensor controls in open office spaces >= 300 sq ft. have controls: 1) configured so that general lighting can be controlled separately in control zones with floor areas <= 600 sq ft. within the space, 2) general lighting in each zone permitted to turn on upon occupancy in control zone, 3) automatically turn off general lighting in all control zones within 20 minutes after all occupants have left the space, 4) are configured so that general lighting power in each control zone is reduced by >= 80% of the full zone general lighting power within 20 minutes of all occupants leaving that control zone.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C405.2.2.1 C405.2.2.1 [EL21] ²	Each area not served by occupancy sensors (per C405.2.1.1) have time-switch controls and functions detailed in sections C405.2.2.1.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

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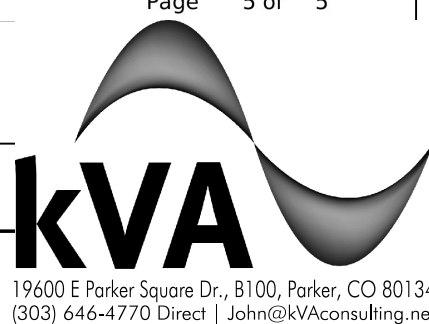
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Section # & Req.ID	Final Inspection	Complies?	Comments/Assumptions
C303.3 C408.2.5.2 [FI17] ³	Furnished O&M instructions for systems and equipment to the building owner or designated representative.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C408.1.1 [FI57] ¹	Building operations and maintenance documents will be provided to the owner. Documents will cover manufacturers' information, specifications, programming procedures and means of illustrating to owner how building, equipment and systems are intended to be installed, maintained, and operated.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C408.2.5 [FI16] ¹	Furnished as-built drawings for electric power systems within 90 days of system acceptance.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
C408.3 [FI33] ¹	Lighting systems have been tested to ensure proper calibration, adjustment, programming, and operation.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

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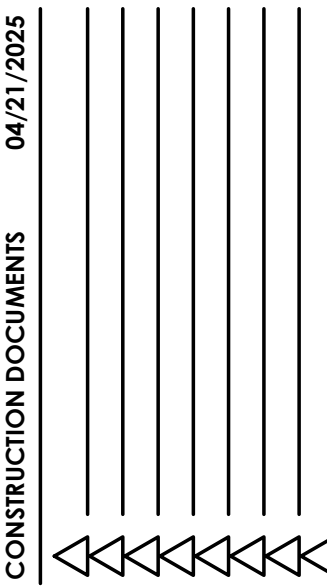


19600 E Parker Square Dr., B100, Parker, CO 80134
(303) 646-4770 Direct | John@kVAconsulting.net

MARK
ARCHITECTURE

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ARTHREX WEST RENOVATION
25 INVERNESS DRIVE EAST
ENGLEWOOD, CO 80112



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